



Community Development Office
City of Plattsburgh
41 City Hall Place
Plattsburgh, NY 12901
Phone: 518-563-7642
cdo@cityofplattsburgh-ny.gov

December 19, 2019

Mr. Joe McMahon, Building Inspector
Mr. Ron Nolland, Chairman, Zoning Board of Appeals

Re: Plattsburgh Durkee Street Development

Dear Joe and Ron:

The City of Plattsburgh, as part of its Downtown Revitalization Initiative (DRI) award from the State of New York, is now moving forward with permitting for the redevelopment of the City owned Durkee Street lot bordered by Bridge, Durkee, and Broad Streets and the Saranac River. The redevelopment of the Durkee Street lot will involve approvals from both the City Planning Board and the City Zoning Board of Appeals (ZBA).

City Permitting

As part of this redevelopment, we have submitted several applications to the City Planning Board that include the following:

- *City Minor Subdivision application* – for a 2-lot subdivision that will formally separate the Broad Street parking lot from the rest of the Durkee Street site;
- *City Planned Unit Development (PUD) application* – for a 2-lot PUD; and
- *Prime Site Plan application* for Lot 2B within the PUD for the proposed Prime Plattsburgh Durkee Street Mixed-Use Development.

We are also submitting two Special Use Permit (SUP) applications to the City ZBA that will include the following:

- *SUP application* to amend the geographic boundaries of a previously approved PUD; and

- *SUP application* for the use of apartments on the first floor of a multistory building within a PUD. *See Zoning Code – Schedule I, Schedule of Permitted Uses – Part B.*

The City will submit a single application to the ZBA for these two SUPs. Consideration of the amendments to the PUD itself is the responsibility of the Planning Board. The ZBA is responsible only for reviewing the SUPs to amend the previously approved PUD (Zoning Code § 360-31).

SEQRA Process

The SEQRA is being handled by the Common Council as lead agency. A Draft Generic Environmental Impact Statement (DGEIS) has been prepared and deemed sufficient for public review and comment. A public hearing was conducted on December 9, 2019 and the public comment period for the DGEIS will end on December 23, 2019. Following the close of the public comment period, all relevant comments received will be addressed and a Final Generic Environmental Impact Statement (FGEIS) will be prepared. The Common Council will need to review and accept the FGEIS as complete and will file and publish a Notice of Completion. A SEQRA Findings Statement will then be prepared and adopted by the Common Council.

Pursuant to the SEQRA regulations, the SEQRA Findings Statement will be binding on all involved agencies. Although a GEIS and related SEQRA Findings Statement will be issued, the Planning Board and the ZBA will need to make a determination on the specific applications taking into consideration their involved agency status. These determinations include 1) adoption of the SEQRA Findings Statement, and 2) that the specific applications and their potential environmental impacts have been fully assessed in the DGEIS, FGEIS, and Findings Statement and that therefore additional review under SEQRA is not necessary. These determinations should be made by the Planning Board for the Minor Subdivision action, the PUD Subdivision action, and for Prime's Site Plan and by the ZBA for the two SUPs. An Environmental Assessment Form ("EAF") will accompany each application to guide the Board's review of each Project's potential environmental impacts and to utilize in its application of the SEQRA Findings Statement

In this instance, because of the comprehensive nature of the DGEIS, FGEIS and Findings Statement, the Planning Board and ZBA may find that no further SEQRA review is required because the specific actions will be carried out in conformance with the conditions and thresholds established for such actions in the GEIS or its Findings Statement. In furtherance of the above, we will submit a copy of the DGEIS and all other SEQRA materials to the Planning Board and the ZBA for inclusion within their respective administrative records.

Ms. Malana Tamer, City of Plattsburgh Planner
Mr. Jim Abdullah, Chair, City of Plattsburgh Planning Board
Plattsburgh Durkee Street Development
December 19, 2019

We look forward to working with you on the review of our applications to the ZBA over the next several months.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew Miller". The signature is written in a cursive style with a large initial "M".

Matthew Miller
Director of Community Development

Attachments



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MEMORANDUM

To: Joe McMahon, Building Inspector
Ron Nolland, Chairman, Zoning Board of Appeals

From: Matthew Miller, City Director of Community Development
Gail Henderson-King, White + Burke

Date: December 19, 2019

Re: City Application for Special Use Permits
Plattsburgh Durkee Street Planned Unit Development

On behalf of the City of Plattsburgh, enclosed please find thirteen copies of the following City application for Special Use Permits and supporting materials for the Plattsburgh Durkee Street Development:

1. Special Use Permit application for amendments to boundaries of existing Durkee Street Planned Unit Development (PUD) dated December 19, 2019.
2. Special Use Permit application for apartments on the first floor of a multistory building within the Durkee Street PUD dated December 19, 2019.
3. The City Special Use Permits application Project Narrative dated December 19, 2019.
4. Project Location Map showing location of mixed-use development project site on Durkee Street prepared by McFarland Johnson dated April 2019.
5. Official minutes from the meeting of the City's Zoning Board of Appeals held on January 20, 2004 detailing approval of a Special Use Permit for the establishment of a PUD on Durkee Street.
6. PUD Boundary Maps showing existing and proposed PUD boundaries prepared by Chazen Companies dated December 6, 2019.
7. Proposed Subdivision Plan prepared by Robert M. Sutherland P.C. dated November 26, 2019.



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8. List of requested deviations from underlying zoning regulations within the proposed PUD dated December 5, 2019.
9. Prime Plattsburgh, LLC Durkee Street Mixed Use Conceptual Site Plan and Basement Parking Plan C-01 prepared by McFarland Johnson dated November 2019.
10. Plattsburgh Mixed Use Development Renderings prepared by Mackenzie Architects P.C. dated October 23, 2019 and November 5, 2019.
11. DRI Concepts Overview Map prepared by Saratoga Associates dated August 2019.
12. Proposed Durkee Street Improvements Map prepared by Saratoga Associates dated September 2019.
13. Proposed Riverwalk Improvements Map prepared by Saratoga Associates dated August 2019.
14. Letter from City of Plattsburgh authorizing third parties to submit and represent application dated December 19, 2019.
15. Full Environmental Assessment Form prepared by the City of Plattsburgh dated December 19, 2019.

Please let us know if you need additional information.

Thank you.



Plattsburgh, New York

Building and Zoning Department
41 City Hall Place
Plattsburgh, New York 12901
Ph: (518) 563-7707
Fax: (518) 563-6426

PROCEDURE IN APPEALING THE ZONING ORDINANCE SPECIAL USE PERMIT

DEADLINE FOR FILING APPLICATION December 20, 2019
ZONING BOARD MEETING DATE January 20, 2020

The Zoning Board of Appeals has been empowered to hear and decide all appeals to the Zoning Ordinance and to do so the Board holds public meetings once a month.

The attached appeal application must be completely filled out and returned to the office for action by the Zoning Board of Appeals at their monthly meeting. The filing fee for said application is as follows:

One and Two-family dwellings -	\$100.00
Multiple Dwellings	\$150.00
Commercial Properties	\$150.00

All checks should be made payable to the "City Clerk". In order for your appeal to be heard in the same month you apply, the appeal form and fee must be received by this office three weeks prior to the scheduled meeting of the Zoning Board of Appeals. All applicants or their representatives should attend the Zoning Board of Appeals Public Meeting of their appeal to answer any questions the Board may have regarding their request.

In filling out the form, please be specific and supply the Zoning Board of Appeals with all the necessary information requested on the form. If you are requesting a Variance from the Ordinance, you must detail why the literal enforcement of the ordinance will produce an undue hardship, while the variance requested will adhere to property is no proof of hardship within the purpose of zoning. In addition to the above, an applicant must submit adequate drawings and a site plan of all requests which will involve any construction, alterations, or physical change of their property. **THIRTEEN (13) copies of the application and THE ORIGINAL APPLICATION, of drawings and site plans are required** (we recommend the plans be approved before the THIRTEEN (13) copies are made).

Before the Zoning Board of Appeals may hear and decide your appeal, this office must first:

1. Publish the request in three successive issues of the Press-Republican newspaper not less than five nor more than ten (10) days before the hearings.
2. Notify, by letter, all property owners within 500 feet of the appeal property location of your request.

This office is responsible for implementing the above requirements.

If there are any questions, please feel free to contact this office.
Thank you for your cooperation.



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USE
CLASS A VARIANCE

AREA
CLASS B VARIANCE

SUP
SPECIAL USE PERMIT

Date: 12/19/19

Appeal No.: _____

An application is hereby made to the Zoning Board of Appeals pursuant to the City of Plattsburgh Zoning Ordinance for a variance to allow the property use as herein described.

Applicant: City of Plattsburgh

Applicant's Address: 41 City Hall Place
Plattsburgh, NY 12901

Telephone No.: 518-536-7520

Parcel Identification: 207.20-7-15

Location of Request: Durkee St.

Property Owner: City of Plattsburgh

Request Description: Special Use Permit for use of apartments on the first floor of a multistory building within a Planned Unit Development

Zoning District: _____

Section Appealed: 360-31 (Special Use Permits)

Previous Appeal: No.: _____ Date: _____

Identify Applicant's Right to Apply for Variance:

Ownership: Long Term Lease: _____ Contract To Purchase: _____

Other (Please Explain): _____

Applications for Zoning Variances must be accompanied by:

- 13 copies of existing and proposed site plan
- 13 copies of existing and proposed floor plan

The Zoning Board of Appeals may impose reasonable conditions and restrictions on the grant of area and use variances provided they are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of the zoning law, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

* Matthew Miller
Signature (Owner/Applicant)
Print First and Last Name

Shelise A. Marbut
Notary Public

SHELISE A. MARBUT
NOTARY PUBLIC, STATE OF NEW YORK
NO. 01MA6365804
QUALIFIED IN CLINTON COUNTY
COMMISSION EXPIRES OCTOBER 16, 2021

*Signatures other than the Property Owner, require a Letter of Authorization to apply.

City of Plattsburgh - Plattsburgh Durkee Street Development
City Application for Special Use Permits

Project Narrative

December 19, 2019

I. Overview and Background

The City of Plattsburgh (City) is working with Prime Plattsburgh, LLC. (Prime) on a public-private partnership for the redevelopment of the Durkee Street lot. The State of New York (NYS) identified the Durkee Street Site as the centerpiece of Plattsburgh's Downtown Revitalization Initiative (DRI) award. Consistent with the City's October 17, 2018 Request for Proposals, Prime is proposing a mixed-use development consisting of approximately 115 residential units, 10,000 square feet of commercial space, 5,800 square feet of renovated farmers market building space for commercial and civic use, parking, and open space.

The Durkee Street lot fronts on Durkee Street and is bordered by Broad Street to the south, Bridge Street to the north, and the Saranac River to the east. It currently includes the Gateway building and associated parking leased to Investors Corporation of Vermont (ICV), a municipal parking lot, a farmers' market structure, the remediated site of a former gas and service station (Highway Oil site), and a path along the Saranac River riverfront.

The Durkee Street lot is located in the C- Central Business/Commercial Zoning District and has several previous approvals from the City's Zoning Board of Appeals (ZBA):

- September 29, 1975 – Appeal #126 for the establishment of an industrial operation.
- January 20, 2004 – Appeal #1577 for the issuance of a special use permit (SUP) for a Planned Unit Development (PUD). The PUD boundaries include the Durkee Street lot and the City owned Broad Street parking lot. It did not include the former Highway Oil site which was not in City ownership at that time.

The City is submitting two special use permit applications: 1) to amend the boundaries of the previously approved PUD for the Durkee Street lot; and 2) for the use of apartments on the first floor of a multistory building within a PUD. The uses permitted within the PUD will be augmented to include additional uses currently permitted within the underlying C Zoning District.

Related to all applications, the Common Council, acting as Lead Agency, has commenced the New York State Environmental Quality Review Act ("SEQRA") process for the City's Downtown

Revitalization Initiative projects. The City Council has required that a Draft Generic Environmental Impact Statement (“DGEIS”) be prepared to assess the potential significant adverse environmental impacts related to the downtown area improvement projects. The DGEIS was deemed complete on November 21, 2019 and a public hearing for the DGEIS was held on December 9, 2019. Importantly, the Durkee Lot Mixed Use Development, for which approval of the two SUP applications is required, is one of the constituent projects evaluated as part of the DGEIS. This assessment will be further reviewed in a Final GEIS and related SEQRA Findings Statement. The City’s Planning Board and the ZBA are listed as involved agencies for this GEIS process. Throughout the course of this application, the City will demonstrate that the GEIS and related Findings Statement have adequately assessed the potential significant adverse impacts related to the Durkee Lot Mixed Use Development and therefore no further SEQRA review of the SUP applications is required.

II. Project

The City is requesting two SUPs: 1) to amend the boundaries of the existing PUD on Durkee Street; and 2) for the use of apartments on the first floor of a multistory building with that PUD and to augment the uses permitted within the PUD to include additional uses currently permitted within the underlying C Zoning District. This includes the following:

1. Boundaries of the PUD: The proposed adjusted boundary of the PUD is to include lands bordered by Bridge Street to the north, Durkee Street to the west, Broad Street to the south, and the western bank of the Saranac River to the east. This includes the Durkee Street parking lot, the Gateway building and its associated parking garage, and the former Highway Oil lot. The total land area within the proposed PUD boundary is approximately 4.66 acres. The Broad Street parking lot will no longer be included the PUD.

The proposed boundary of the PUD meets the minimum land area requirements of 3 acres as outlined in Section 360-21(C)(9) of the City Zoning Regulations for the C-Commercial Zoning District.

2. Uses within the PUD: The proposed uses will potentially include retail businesses and commercial uses, personal and business service establishments, residential apartments, and parking and loading areas.

According to **Schedule I 360 Attachment 1:3** of the Plattsburgh Zoning Regulations, the following proposed uses are included in the list of Permitted Principal Uses, Accessory Uses, and Uses Requiring Special Permit.

Permitted Principal Uses:

- The proposed retail businesses and commercial uses, and personal and business service establishments are proposed on the first floor along Durkee and Bridge Streets.
- Residential apartments above the first floor. These apartments will be on the upper floors of the building.

Accessory Uses:

- On-site parking spaces are proposed underneath the building as well as 2 surface parking lots. A loading area is also proposed.

Uses Requiring Special Permit:

- Planned unit developments (PUD), of which we are proposing to amend an existing, previously approved PUD.
- Residential apartments are proposed to be on the first floor of the multistory building wing along Bridge Street and the wing facing the surface parking lot.

III. City Special Use Permit Review

We have provided information on the Project that addresses the review criteria in conformance with Special Use Permit requirements as described in *Section 360-31 Special Use Permits* of the City’s Zoning Ordinance. These items will be addressed in more detail as part of the GEIS prepared for this Projects and others in the downtown area.

Section 360-31 B. Standards

- *The general character, height and use of the structure or structures;*

The proposed PUD allows for the redevelopment of the lands with an infill building bordering the roadways and sidewalks that have been contextually designed to define the streetscape and fit into the general character of the surrounding area. This is an infill project within the downtown fabric of the city. Many years ago, there were buildings on the project site, but have since been removed. The surrounding area has buildings bordering the sidewalks and streetscape that typically define a walkable downtown area. This proposed PUD will allow the flexibility to have buildings close to the sidewalks.

The proposed building will be 65 feet tall with 5 stories (one level underground, four stories above ground, and a mezzanine level). This is similar to heights of other buildings within the Central Business/Commercial Zoning District in the surrounding area. The

proposed uses within the PUD are all uses that would typically be found in a downtown environment.

- *The provision of surrounding open space and the treatment of grounds;*

Open space, as written in *Article II Definitions 360-5 Terms*, is defined as “...open unobstructed space from ground to sky at grade on a lot accessible by walking and which is suitable for and maintained as grass, flowers, trees, bushes and other landscaping and includes any surface walk, patio or other similar area but does not include driveway or ramp, whether surfaced or not, any curb, retaining wall, parking area or any open space beneath or within any building or structure.”

Each lot within the PUD and the entire PUD development meets the minimum open space) requirements for the C – Central Business zoning district. The entire PUD development also meets the land use density requirements for the C – Central Business zoning district as follows:

	<u>Underlying Zoning District</u>	<u>Proposed</u>
Minimum Open Space	15%	22%

Open space is provided within the proposed PUD and constitutes 22% of the entire site. This exceeds the minimum requirements for the entire PUD of 15% open space.

The proposed open spaces are as follows:

- Along the Saranac River, an identified top priority for the City, to be designed as a riverfront walk with site furnishings and landscape plantings that will connect Broad, Durkee, and Bridge Streets to the riverfront;
- Bordering the riverfront walk and the surface parking lot;
- Walkway and landscape plantings from Durkee Street to the riverfront walk;
- Walkways along Durkee and Bridge Streets; and
- Walkways and amenities in the courtyard of the building. These open spaces will include sidewalks, boardwalks, landscape plantings, and site furnishings all consistent with downtown amenities.

- *The general fitness of the structure or use to its proposed location;*

The proposed building structure and uses are consistent with what are typically found in downtown Plattsburgh. The proposed building elevation has been conceptually designed

to have similar architectural details to those that exist in surrounding structures in order to maintain balance with the character of the neighborhood.

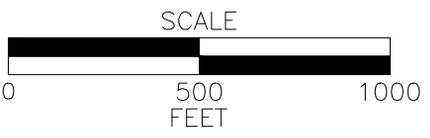
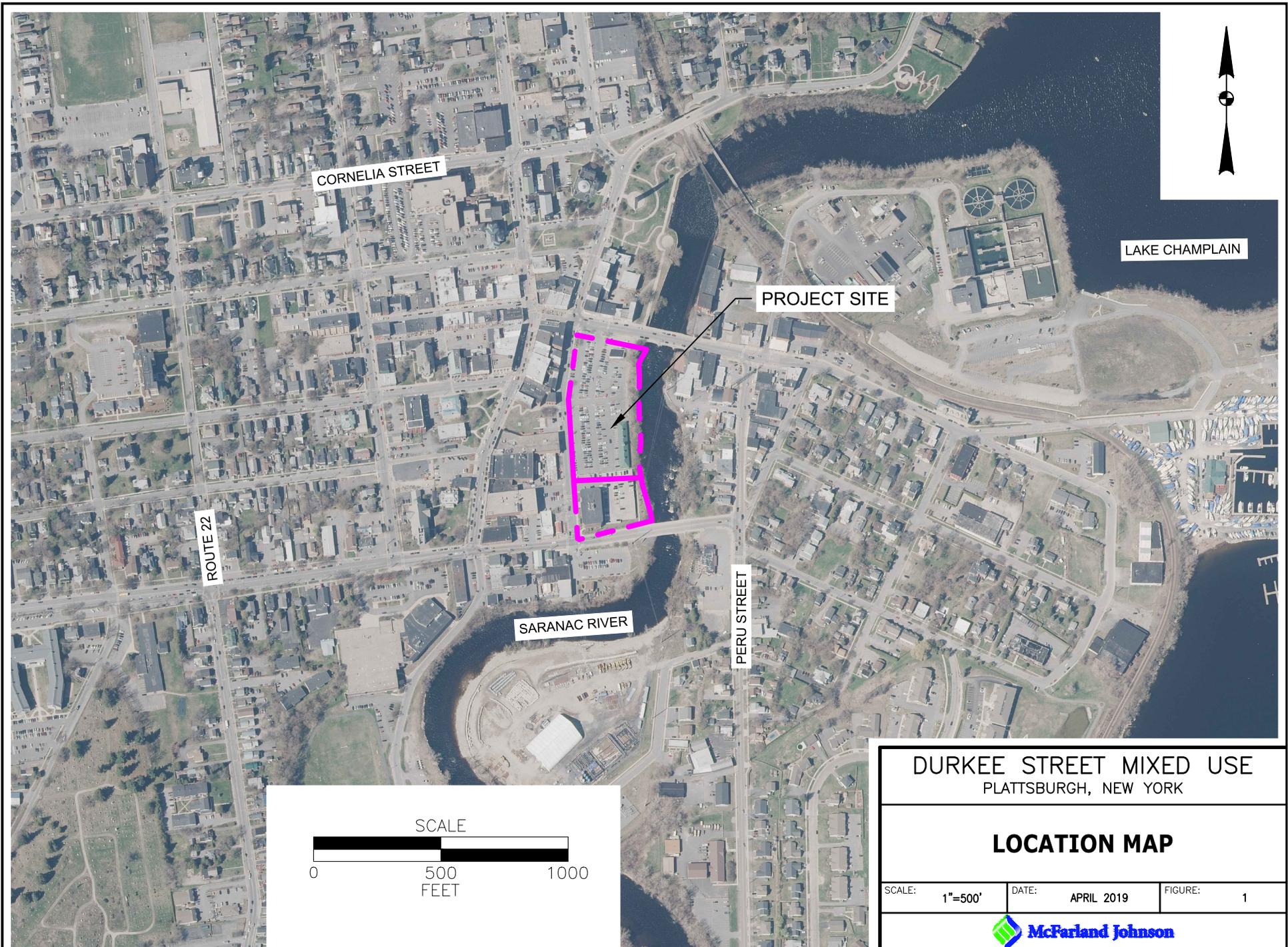
- *The provision for automobile parking or storage;*

The proposed Project will have 286 parking spaces on-site which exceeds what is estimated to be required to meet the needs of the proposed uses. Fifty (50) of those spaces will be made available for use by the public. Per the City's zoning regulations, 319 spaces would need to be provided on-site. However, in the DGEIS it is noted that the City's off-street parking requirements have not been updated in some time. An alternative source of data is the Institute of Transportation Engineers (ITE) "Parking Generation" (5th Edition, 2019) manual, an authoritative publication that includes parking demand data for over 100 different land uses. The ITE Parking Generation Manual shows a total demand of 272 parking spaces for the Durkee Lot Mixed Use Development's residential and commercial components, 45 spaces fewer than is required by the City's zoning regulations.

The existing, publicly accessible parking spaces located on the site will be relocated to several nearby downtown lots and public streets. The City anticipates that the majority of these parking spaces will be operational prior to the start of construction of the proposed development. The DGEIS outlines and documents the new locations of these publicly accessible spaces. The City is implementing this parking relocation process as part of their Public Parking Plan.

- *Street capacity and use as may be necessary to safeguard public health, convenience and as may be required for the preservation of the general character of the neighborhood in which such building and/or structure is to be placed or such use is to be conducted.*

Street capacity as it relates to traffic is addressed as part of a detailed traffic analysis included in the DGEIS. The DGEIS review concluded that the proposed Downtown Area Improvement Projects, which include the Durkee Lot Mixed Use Development, will have minimal traffic impacts and that no mitigation measures are needed.



DURKEE STREET MIXED USE
PLATTSBURGH, NEW YORK

LOCATION MAP

SCALE:	1"=500'	DATE:	APRIL 2019	FIGURE:	1
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The **fifth** item on the agenda was Appeal #1577, Investors Corporation of Vermont, Bridge Street Parking Lot For a Special Use Permit.

Mr. Nolland said the provisions appealed were 270-20 and 270-10. He believe 270-10 is a misprint and they are asking for only a Planned Unit Development and all other physical discrepancies between the project and building code be taken of by the Planning Board.

Property owner is City of Plattsburgh. This is a Special Use Permit for a PUD.

The zoning district is zoned C Commercial. The Section Appealed is 270-20, PUD.

Mr. Perry 270-10 also includes Schedule of Permitted Uses. A previous appeal was #126, on 9/29/75. Mr. McMahon stated this was to establish an industrial operation.

A memorandum dated December 19, 2003 from Mayor Stewart was read into the record regarding ownership. [Meter 710]

John Clute, Corp. Counsel for the City of Plattsburgh began this discussion stating the City administration is actively involved in promoting and furthering this particular development. He is here to speak on behalf of the Mayor and Common Council about the project and in doing so, he is their advocate. He is not the Zoning Boards Legal advisor in this case.

Mr. Clute stated there are 2 things he wanted to speak about tonight. One is the respective powers and responsibility of the 3 city boards involved in this project - the Common Council, Zoning and Planning Board. The second issue is thoughts about how to review a phased developed such as this one. [Meter 840]

With respect to the City Councils role in this, the City of Plattsburgh owns this land and they are the entity that has the right to determine whether it should be redeveloped. They have the power and will decide who is going to develop it, what for, for what uses and what kinds of terms and conditions this property will have. This will be a ground lease. The Council has the means through this document or agreement that is worked out with the developer of addressing those kinds of issues or concerns. The Council thinks the land is an underutilized asset; that the land should be developed to its full potential to enhance the city tax base. The offices and limited amount of retail space in connection with the natural development of this site is an appropriate use for the land. The Council also understands and is concerned about and have and will addressed in the fellow document striking an appropriate bounds between the need to grow the city tax base but yet assure the people that have already made an investment in downtown Plattsburgh that they will have sufficient parking in order to properly conduct their businesses and grow. Those issues have been talked about and will be covered in the final lease agreement. The City administration has the power to decide those things in a reasonable and balanced fashion. [Meter 993]

With respect to the Zoning Boards role, unlike other items heard tonight, it's fairly limited. For tonight's discussion, this Board has to decide whether or not they should grant permission for this particular parcel of land to be developed as a PUD. A PUD designation is something that allows a lot to be developed with multiple uses in connection with the plans for that

development. Mr. Clute discussed further other uses for the lot. [Meter 1050]. The appropriate planning use mechanism for doing this is through the PUD process. If the decision is made that a PUD designation is a special permitted use and should be granted to this project, the right and responsibility to review and to make judgments about all the details of the plan is primarily in the hands of the Planning Board. Ultimately, it comes down to the Planning Board. It's unlike other permitted uses that the Zoning Board deals with. He spoke more about a PUD, review criteria, Section 270-20 standards, judgments for those standards from the PB. [Meter 1170 - 1225]. He then suggested to the Board to keep in mind there are limits to authority that one board has to the other. The PB ultimately will get this plan and make the ultimate decision on the details of the proposed project development.

Mr. Clute continued saying when you have 3 different boards involved in a project and it's a big project, one of the things that's important to keep in mind is to recognize and respect the authority of the other boards to make the decisions that they have a right to make in the course of the Development of the project. It's recognizing that others do have certain powers and authority when making these important decisions. [Meter 1290] He reiterated the Council does have a considerable stake in this project, an interest in it and ultimately have a right to decide whether this land ever gets developed at all. It's just not up to the Zoning or Planning Boards. There is another player on how this moves forward.

Mr. Clute added this is a phased project with a 50,000 sq. ft office building, 180 car-parking garage and 60 car parking deck located at the South parking lot. [Meter 1379]. This is the 1st phase of part of this project. The second part could be several years down the road, with a large 600 car public parking garage intended to provide ample space for existing downtown businesses and to accommodate all the needs for another office building. That would be the third phase of the project. The lease tentatively negotiated gives them 18 month for the first phase. The City administration does not want a situation where property is essentially tied up for an extended period of time under a land control document w/o a realistic plan that actually makes some progress.

The second phase, because it involves construction of a large parking garage, is pretty much the responsibility of the City but it does tie into the 3rd phase because essentially, the right to develop the third phase that expires 7 years after the first. [Meter 1540] The first phase plans are quite definite and reasonably certain but much of the rest of it is a concept or idea of what it might look like. [More discussion about phases, use of lands, Meter 1600 – 1735]

Ms. Schoonmaker then showed a video of what the garage and building would look like. [Meter 1822]

Mayor Stewart advised Investor Corp. of Vermont came to the City of Plattsburgh interested in doing a downtown development. He was asked to go to Washington, DC regarding the Federal Building. [Meter 2000]. A SUNY presence downtown is also being worked on for a small business center with classrooms for Art and classrooms for the college. Some of this building has been leased already. ICV wants to make a huge investment into the City of Plattsburgh. Phase I is what we are talking about tonight – the 2 decks and the 5 story building as the first phase. Anything else after this will come back through the same process. The Mayor also mentioned the Farmers Market. The Lake City Development Corp. has recommended not to spend the \$80,000 to enclose the Farmers Market. Because of the

developments that are taking place in the parking lot, it's possible that they might want to relocate the Farmers Market, rather than make a major investment into this. The Gas station will have to be another thing that will have to be obtained by the City of Plattsburgh and probably obtained by the City of Plattsburgh. They have retained the Durocher building across the street. [Meter 2239].

Mr. Sprayragen from ICV introduced Gregory Rabideau, Architect, which had prepared all the plans.

Mr. Rabideau explained the principal structure being proposed is a 5-story office building, with 11' 4" per floor. It will be 58' tall. There will be commercial grade aluminum windows. The exterior will be brick masonry, with decorative stone treatment. There will be a semi-octagonal inflection of the structure, which corresponds to the front on Durkee St. There will be existing transformers on the site. The parcel is 5.3 acres which encompasses all the land from the corner of Durkee to Bridge St. This will include the land that Broad St. traverses over. The proposal includes restructuring an existing parking lot to include a 2-level parking garage, with a lower level entrance off from Durkee St. The upper level will take advantage of up ramp that goes up the Broad St. Bridge so you will come in onto the upper level using existing topography.

The same technique will be used on the Northerly part of the garage closer to the river. The lower level will be accessed by a "carriage sweep" by driving in and doing a "u" turn and driving back out. This will provide for a drop off and principal entrance to the office structure and then drive directly into the lower level garage. That would be Phase I. The existing location of the Farmers Market will remain. Other features that will remain is the boardwalk extension towards Broad St.

Mr. Rabideau continued saying actual lot coverage will go down for the project as they introduce green space. [Meter 2596]. He spoke about design, storm water, pipes under the floor of the parking garage. They will provide for retainage of storm water on the site, by large diameter pipes under the floor of the parking garage. The storm water that falls on the parking garage and immediate areas around it can be converted into a storage facility and will then allow them to retain that water and discharge it into the Saranac River on a much slower rate. The actual impact and rainfall from storm events on the site will be attenuated by the development of the project, such that storm water discharge will be withheld. [Meter 2660]. The other advantage of this will be the cleaning of that water to the extent that there will be an opportunity for solids and things to settle out of the water. In addition to this, they will provide for some overland flow between the discharge flowing and the actual river itself, providing for additional cleaning and aeration. [Meter 2700] The best location for electric power to come to the building is on the South side of the building, where there is available conduit banks.

Mr. Rabideau also stated overall, there will be a constant number of parking spaces that will be developed for the project. The pre and post development phase will be the same number of parking spaces, given the demand for the office space itself. Overall, there will be net reduction for available public parking spaces.

Ms. Schoonmaker explained the parking spaces. [Meter 2850 - 3125]. The developers have shown the numbers of spaces that will be lost and gained during the whole construction of the project. Their primary concern is the 1st 3 months of the project. From approximately March 1 – May 30, when you figure out the number of spaces lost and added, through out that period of time, there will be 81 spaces that will be lost for those 3 months. The first 5 days they will be closing in the North Parking lot and 2 of the entrances and adding 66 spaces. She reiterated 81 spaces will be lost over those 3 months. She spoke about offsetting those spaces. The city and county are working together to develop a busing plan for those employees. There are some other parking area the county is talking about purchasing, etc. Ms. Schoonmaker strongly said they are working to offset those lost 81 spaces by busing county employees. Maybe Skyway or St. Peters Church might be parking areas.

Ms. Gilbert asked about Durkee St. being one way and gaining spaces there. Mr. Sprayragen stated they proposed NOT to make Durkee one way but to close the entrance off Durkee St. [Meter 3169] He spoke about restriping the parking lot and how there was quite a variation between how wide some of the spots were and how wide some of the others were. Ms. Schoonmaker said even taking this into consideration, they will still have that net loss for 3 months. The developer is actually doing the striping at their expense.

[Lengthy discussion on loosing parking spaces, Nolland, Sprayragen, Schoonmaker, Perry, spaces for county workers, parking spaces regarding zoning ordinance, overall spaces, Meter 3400].

Mayor Stewart spoke about the County and City working together on parking spaces, foreclosure of certain city property and bank releasing that property to convert into 50 parking spaces. [Meter 3489] In addition, NYSEG property maybe helping with parking.

Mr. Nolland clarified tonight's meeting is for only Phase I and the Special Use Permit. [Discussion between Perry and Nolland about intentions of Phase I, Meter 3500 – 3812]. This is an unlisted action and therefore an uncoordinated review.

Mr. Perry discussed the pubic notice and the new add. [Meter 3914-At this point in the meeting, Ms. Drumm left the meeting with Mr. Fuller taking her place on the Board. Mr. Fuller has heard on the testimony for this project].

Mr. Nolland then opened the meeting up to the audience.

Steve Baker, 2 Durkee St., stated he owns the property at the south end of this property and has a lawsuit against the City regarding the parking lot at Durkee St. [Meter 4345]. He did not know how this could go forward. Mr. Nolland then read the letter from Mr. Baker, dated 1/20/04 into the record.

Mr. Ed Collins then spoke stating this was in the legal section of the paper.

Ron Patnode asked about the parking structures and would they be accessible to the public when finished (24/7). Mr. Sprayragen said they were currently in conversations in making the top level of this available to the public. Mr. Patnode thought there would be no relief to the tax base and were getting nothing in return. He asked what would happen with the snow and snow related problems. [Meter 4884].

Mr. Seiden stated he has been redeveloping Downtown since 1985. He reminded everyone this is an independent Board and they will look at it independently, whether the Mayor or Pope or anybody else wanted something to happen. He asked to treat the developer with the same type of requirements and standards that the regular townspeople get when needing a variance. Let this project stand on its own merit.

Mr. Rabideau commented to Mr. Baker the upper level of the parking garage will be at the level of Broad Street, maybe 10' above grade. The lower level will be flush with Durkee St. The proposed parking structure will be 10' tall. There will be guardrails on top of the structure that will be open. He proposes vertical stantions connected w/half inch thick cables. It's a public parking lot today and it will be a public parking lot in the future.

It's their intention to improve the overall quality and volume of runoff from this site by directing it to a well-defined structure and metering the outflow to the Saranac River. They are not increasing any lot coverage. Mr. Nolland spoke about filtration. [Meter 5330]

Mr. Rabideau is also proposing landscaping for this project, with a lot more green than currently there now. There could be more things done to lessen up the impact of this building. The building should be 15' from Durkee St. Mr. Perry said the internal street (Broad) is required to be 25'. [Discussion 5500 – 5798] Mr. Nolland reiterated they are only supposed to decided tonight is the SUP. The PB will decide everything else.

Mr. Rabideau continued spoke about snow removal. Mr. Patnode commented about snow removal. [Meter 5970]. The Mayor responded to the snow comments made from Mr. Patnode.

Ms. Labounty asked if there were any plans for an elevated walkway. Mr. Sprayragen stated they would work with the City to make some crosswalks to make it safe for pedestrians but there is no plan for an elevated walkway.

Mr. Rabideau spoke about the efficiency of the parking garages and topographic features. [Meter 6300]

Ms. Gilbert thought this project would overwhelm the Farmers Market. Mr. Rabideau said this would also impact the community with more eyeballs to Downtown Plattsburgh and the businesses located there.

Ms. Gilbert asked how many new jobs might be created. Mr. Sprayragen said its hard to put a number on this yet, since they are still in the preliminary phases.

Mr. Mazzone spoke about the parking spaces. [Meter 6700].

(Tape 3)

Ms. Schoonmaker said the first level in the South lot will always be remain open to the public. They will use tokens or wands. Mr. Sprayragen reiterated they proposed to build the upper level of one deck first (south garage), and open that up to the public right away.

Mr. Nolland spoke about people leaving their cars in the garage, working people leaving cars, [Meter 119] The Mayor clarified there is a lot of parking, Social Services parking, 2 hr parking.

The Board the reviewed the Long Form SEQR. The following items were changed:

Ms. Schoonmaker clarified the 5.33 acres includes the gas station.

A. SITE DESCRIPTION

1. #10 changed to yes.

B. PROJECT DESCRIPTION.

1. (f) Both of those numbers are incorrect. Existing is 433, proposed is 585.
(g)Add: 60-70 trips.[Discussion Meter 734 – Mayor Stewart, Board,
Rabideau]
(l)Mr. Rabideau changed height to 60'.
2. Add: To be determined.
6. Discussion on start date of project. Mr. Sprayragen stated a more realistic approach is April or May. Mr. Williams said for the record, the 10-month block is designed to break ground to a sealed building unit. (Finish of office area). [Meter 978]
11. Mr. Nolland mentioned the relocation of the farmers market. Mr. Williams and Mayor Stewart said this will not be part of Phase I.
16. This was changed from no to yes.
 - a. Solid waste was changed from no to yes.
 - b. Yes was checked.
 - c. Clinton Co. landfill was checked yes.
 - d. Yes was checked.
17. Disposal of solid waste was changed to yes.
20. Noise levels were changed to yes.[Discussion Meter 1300]
The Mayor clarified regarding the entrance to the parking lot, the City will make improvements at this U-turn piece of property.
23. Added 1300 gallons.

Mr. Nolland then stated 16a will be changed from tons to 30 cu. yards/month for construction of solid waste.[Discussion on wasted material, Meter 1565 - 1730]

25. Approvals required are City Zoning and Planning, Clinton County, Common Council, NYS Health Dept.; State Agencies should be check yes for DEC. Federal Agencies should be checked no.

C. ZONING & PLANNING INFORMATION

3. Add 22 stories.
6. Add mixed use

Mr. Nolland spoke about the utilities & electric, [Meter 1989 - 2080] Mayor Stewart mentioned there is a potential of a new substation being built across from Durkee Street.

12a. Change no to yes regarding generation of traffic.

Ms. Latinville questioned why this SEQR was submitted so late and why most was incomplete. Mr. Perry explained he told the developer they could submit it tonight. Mr. Sprayragen added he was not advised he needed a Long Form SEQR. The Mayor said it was not the developers fault this was late.

Mr. Perry stated this is an uncoordinated action so each agency can review the SEQR. Lead Agency does not apply here. [Discussion on SEQR]

Part 2 – Projects and Their Magnitude.

#13 was changed to no.

#16 should be changed to yes, according to Mr. Nolland. [Discussion - Meter 3100]

Mr. Nolland spoke about the Visual AEF.[Meter 3400]

MOTION ON LONG FORM SEQR:

By Ms. Gilbert, seconded by Ms. Latinville

THE BOARD FINDS NO SIGNIFICANT ADVERSE ENVIRONMENTAL IMPACT FOUND BY THE EVIDENCE PRESENTED TONIGHT ON SEQR FORMS AND PROJECT DESCRIPTIONS.

ALL IN FAVOR: 7

OPPOSED: 0

Mr. Nolland again clarified all they need to approve is whether to allow 5+ acres of land to be classified as a planned unit development. They are no way approving the layout of the buildings, the format of what happens in Phase I, (that will be discussed at the PB), they are not talking about area and bulk controls, they aren't talking about parking or storm water, only talking about is this allowable at a PUD. Mr. Perry agreed.

Ms. Gilbert asked about the gas station property. The City does not own the gas station and no one can asked the Board to approve a PUD involving the gas station. If the gas station is subtracted, does the City still have 5 acres. Mr. Nolland said yes, the gas station is a .28 + acre parcel of land situated on Bridge St. Mr. Perry explained on the parcel identification map, it shows for the north and south parking lot, 5.11 acres. Ms. Gilbert said this clearly excludes the gas station. Without Highway Oil, it still exceeds the 5 acres they need for a PUD.

MOTION:

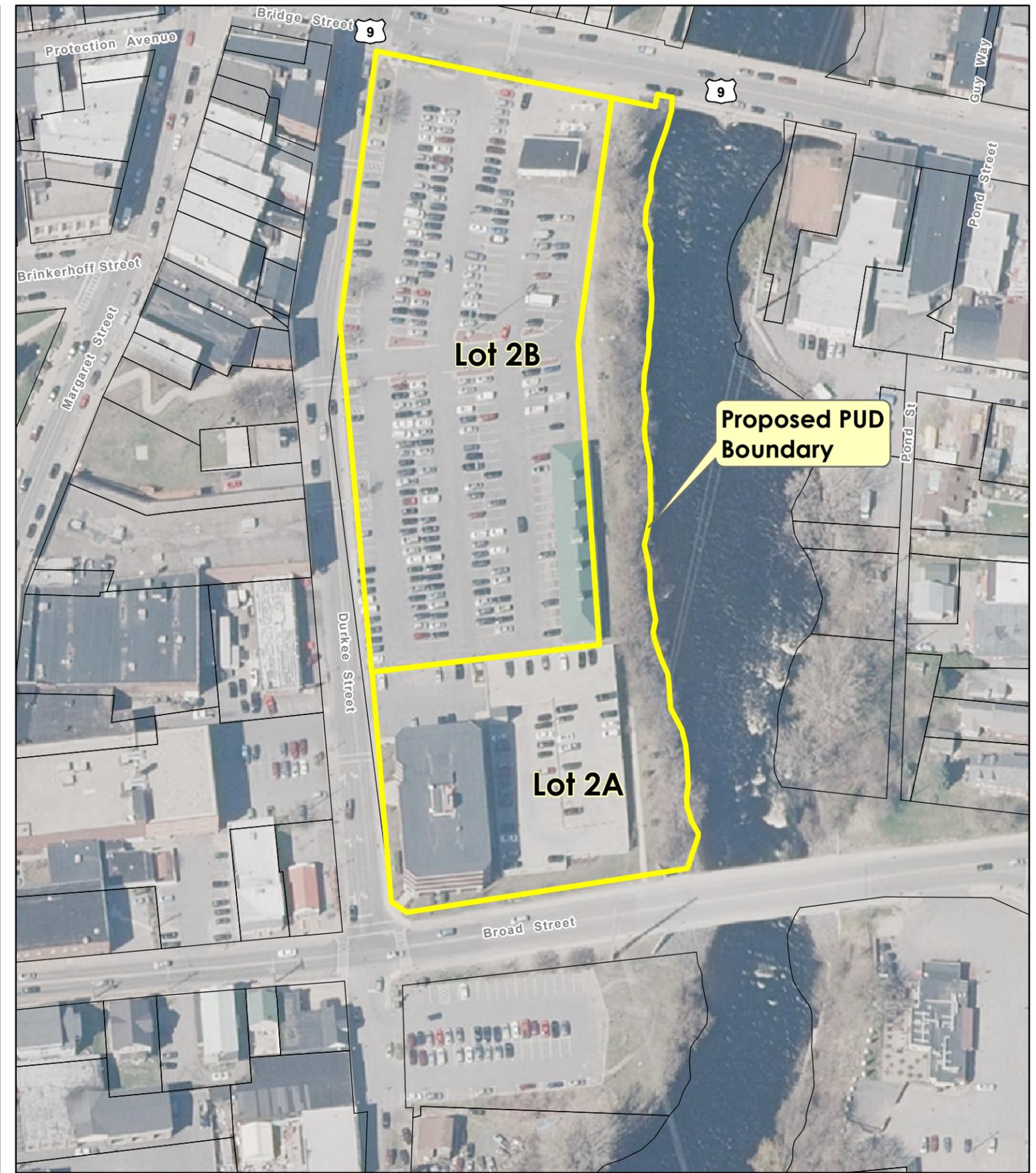
By Steve Fuller, seconded by Ms. Gilbert

**TO APPROVE APPEAL #1577, INVESTORS CORP. OF VERMONT FOR A SPECIAL USE
PERMIT FOR A PLANNED UNIT DEVELOPMENT IN THE CITY PARKING LOT**

APPROVED: 7

OPPOSED: 0

MOTION APPROVED



PUD Boundary - Existing and Proposed

12/6/2019

Downtown Area Improvements GEIS

Plattsburgh, NY

Map Notes:

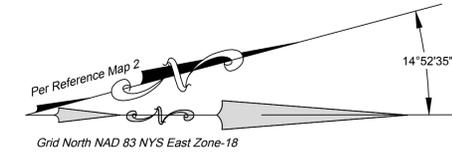
- Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of section 7209, sub-division 2 of the New York State Education Law.
- Only copies from the original of this survey marked with an original of the Land Surveyor's embossed seal shall be considered valid true copies. (mylar prints shall be stamped with the surveyor's ink seal with an original signature)
- Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person for whom the survey is prepared and on his behalf the title company, governmental agency, and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners.
- Copyright 2019, Robert M. Sutherland, P.C. All rights reserved.
- The location of sub-surface improvements are approximate and compiled from field location and mapping provided by the respective utility companies. The contractor shall confirm the location of all utilities prior to the commencement of excavation.
- Subject to any findings of an accurate abstract of title or those discoverable by inspection.
- Subject to any and all right of ways and easements of record, if any.
- North arrow and bearings based on grid north NAD 83 New York East zone 18.
- Vertical datum based on NAVD 1988.
- All distances shown hereon are ground distances.
- Riparian rights, if any, have not been established as a result of this survey.
- Building offsets, as shown on this map, are not to be used for construction purposes.
- Missing property corners were not set as a result of this survey.

Reference Maps:

- "Map of Lands of City of Plattsburgh 44-48 Margaret Street, Plattsburgh." prepared by Joseph J. Martina, L.S. dated September 30, 1974 and filed in the Clinton County Clerk's Office in Book 6 Page 57.
- "Survey Map Showing Parcels of Land/Parcels A-J" prepared by City of Plattsburgh Proposed to be conveyed to City Plaza Associates." prepared by Jolly and Russo Land Surveyors dated September 25, 1989 and filed in Clinton County Clerk's Office in Book 19 Page 71.
- "Boundary Survey Portion of Lands of The City of Plattsburgh." prepared by C.T. Male Associates, P.C. dated October 5, 2004 and on file in the office of Robert M. Sutherland, P.C.
- "Map Showing Plattsburgh Gateway-Phase 1 Site Plan." prepared by Robert M. Sutherland, P.C. dated May 12, 2006.

Reference Deeds:

- City Plaza Associates to City of Plattsburgh by deed dated February 27, 2003 and recorded on Instrument # 2003-152840 on March 12, 2003 in the Clinton County Clerk's Office.
- Lease to ICV NY, LLC to City of Plattsburgh by deed dated May 26, 2006 and recorded as Instrument # 2006-200533 on November 17, 2006 in the Clinton County Clerk's Office.
- Richard A. Marks to City of Plattsburgh by deed dated July 9, 2014 and recorded on Instrument # 2014-265603 on July 09, 2014 in the Clinton County Clerk's Office.

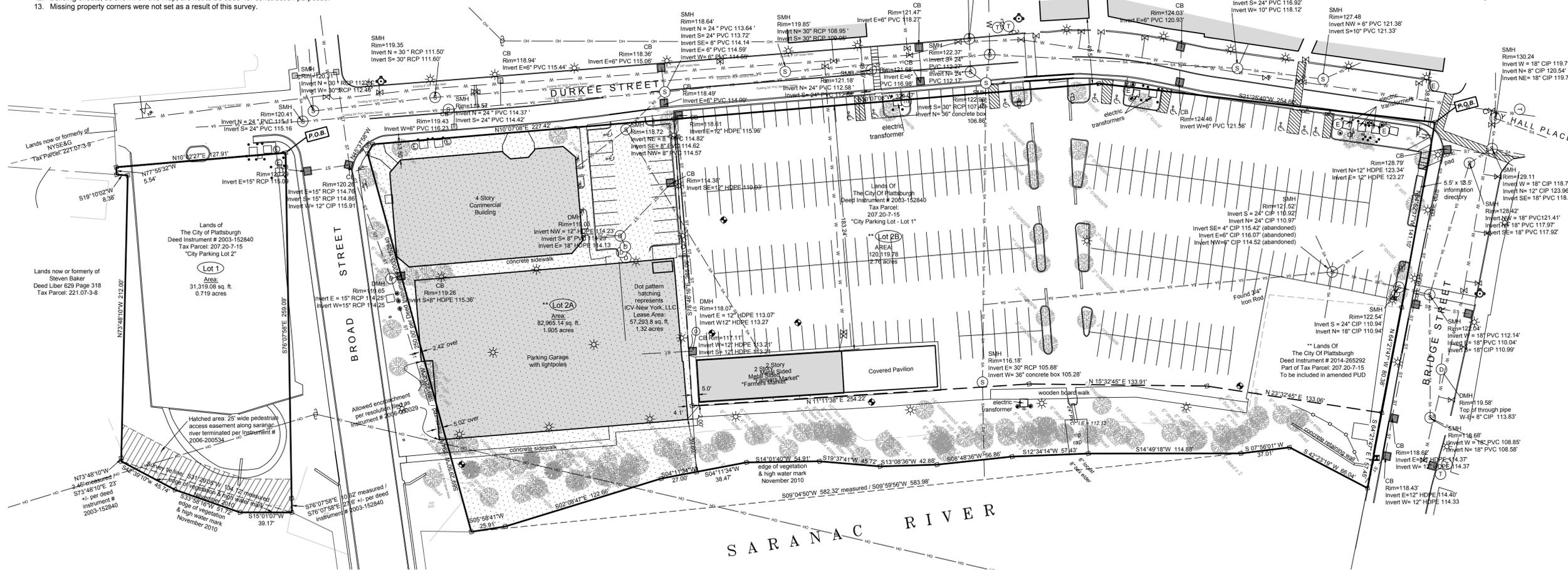


Tax Map Reference:

Section 20.20 - Block 7 - Lot 15
City of Plattsburgh
County of Clinton

Legend:

- 5/8" iron rod w/ RMS survey cap (to be set)
- Found property evidence (as described)
- Computed corner
- ⊕ Fire Hydrant
- ⊙ Sanitary manhole
- ⊙ Drainage manhole
- ⊙ Catch basin round
- ⊠ Catch basin square
- ⊠ Telephone pedestal
- ⊠ Cable pedestal
- ⊠ Water Valve
- ⊠ Water shutoff
- ⊠ Light pole
- ⊠ Utility pole
- ⊠ Sign
- ⊠ Bollard
- ⊠ Monitoring well
- ⊠ Gas marker
- ⊠ Gas meter
- ⊠ Gas valve
- ⊠ Electric meter
- ⊠ Deciduous tree
- ⊠ Coniferous tree
- W — Waterline
- SA — Sanitary line
- ST — Storm line
- UGE — Underground electric
- UGT — Underground telephone
- GAS — Underground gas
- — Property line
- — Adjoiner property line



Special Note:

Amended Planned Unit Development will include all of Lot 2A and Lot 2B hereon. Lot 1, as depicted hereon, and those portion of lands along the westerly side of Durkee Street will not be included in the amended Planned Unit Development.

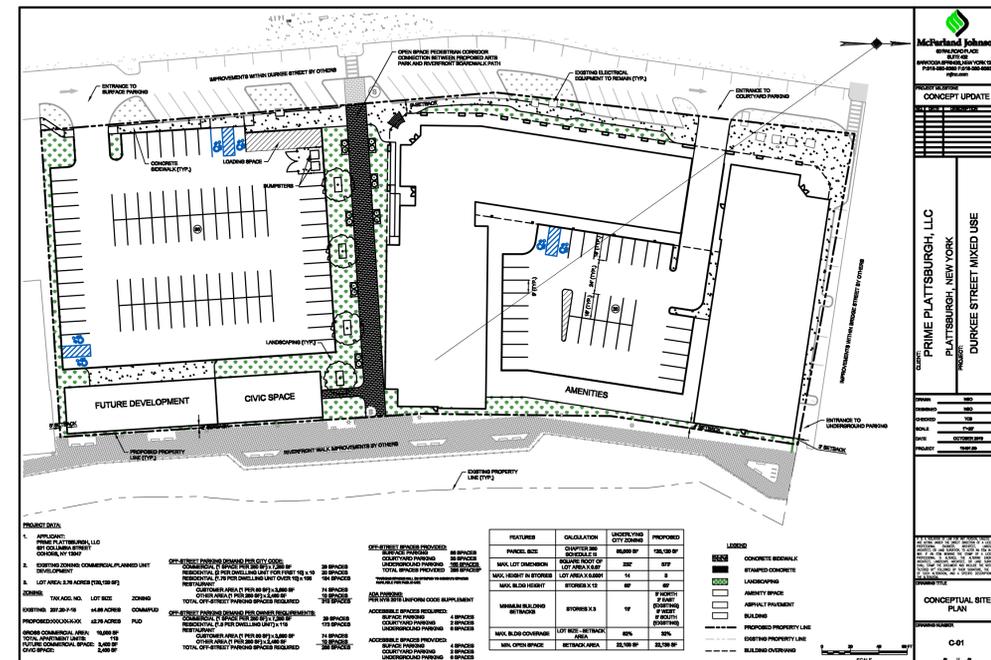
Certification:

I hereby certify that this survey was prepared from deeds and maps of record and from an accurate field survey performed during September and October of 2018.

Zoning Information for Subdivison Parcels:

LOCATION: Broad Street, Durkee Street and Bridge Street		ZONE: C, Central Business District				
USE: Public Parking, Public Farmers Market and Leased Office Space						
Item	Requirements		Lot 1-Parking lot south of Broad Street (Low-Rise)	Lot 2 (High Rise)	Lot 2A (High-Rise)	Lot 2B -Existing Parking Lot
	Low-Rise	High-Rise	To be excluded from the amended Planned Unit Development	To be included in amended Planned Unit Development	To be included in amended Planned Unit Development	To be included in amended Planned Unit Development
Minimum lot area	5,000 sq. ft.	50,000 sq. ft.	31,319.08 sq. ft.	234,404 sq. ft.	82,965.14 sq. ft.	120,119.78 sq. ft.
Minimum area per dwelling	1,500 sq. ft.	N/A	N/A	N/A	N/A	N/A
Minimum lot width	50 ft.	70 ft.	120 ft. ±	275 ft. ±	275 ft. ±	225 ft. ±
Minimum lot depth	100 ft.	100 ft.	235 ft. ±	740 ft. ±	740 ft. ±	538 ft. ±
Minimum front setback	N/A	building stories x 3	N/A	13.5 ft.	-5.02 ft. *	183.24 ft.
Minimum side setback	0 ft. or 12 ft.	building stories x 3	N/A	0 ft. *	3.9 ft. **	2 ft. **
Minimum rear setback	0 ft. or 12 ft.	building stories x 3	N/A	39.8 ft.	39.8 ft.	5 ft. **
Maximum building height	< 36 ft.	Lot area (sq. ft.) x 0.0001	N/A	58.7 ft.	58.7 ft.	N/A
Maximum building coverage	100%	100%	0%	15.7%	41.2%	0%
Minimum open space	N/A	100% of required yards	34.8 %	28%	50.3 %	34.8 %

* Denotes condition allowed by Board Resolution.
** Denotes variance required.



No.	Revision/Issue	Date

RMS
ROBERT M. SUTHERLAND P.C.
ENGINEERS - PLANNERS - SURVEYORS
SOIL & MATERIAL TESTING
11 MADDENHUGH STREET, PLATTSBURGH, NY 12901
518.561.6145(PH) 518.561.2496 (FX)
R M S P C O C O M

Project Name & Address
2019 Subdivision
Of Certain Lands of
The City Of Plattsburgh
~ Situate ~
Clinton County City of Plattsburgh State of New York

Project #	19116	Sheet	SURVEY
Date	11/26/19	Scale	1" = 40'
Drawn	LSC	Checked	J.F.B.

Plattsburgh Durkee Street Project
List of Deviations for PUD Subdivision
December 5, 2019

Requirement	Central Business Zoning District - High Rise	PUD Requirement	Lot 2A: City Owned (Gateway Complex)	Deviation Requested per § 360-21(D)	Lot 2B: Prime Lot	Deviation Requested per § 360-21(D)
Minimum Lot Area	50,000 sq. ft.		82,965 sq. ft.	Not applicable	120,119 sq. ft.	Not applicable
Minimum Land Area	Not applicable	3 acres for entire PUD area	1.9 acres (totals 4.66 acres with Lot 2)	Not applicable	2.76 acres (totals 4.66 acres with Lot 1)	Not applicable
Minimum Lot Dimension	202 FT for Lot 2A 233 FT for Lot 2B		Previously approved	No	573 FT	No
Width	70 FT for Lot 2A 70 FT for Lot 2B		Previously approved	No	> 500 FT	No
Depth	100 FT for Lot 2A 100 for Lot 2B		Previously approved	No	265 FT	No
Front Setback (Durkee and Bridge Streets)	12 FT for Lot 2A 15 FT for Lot 2B		Previously approved	No	9 FT Durkee Street 3 FT Bridge Street	Yes
Side Setback	12 FT for Lot 2A 15 FT for Lot 2B		3 FT (north)	Yes	2 FT (east)	Yes
Rear Setback	12 FT for Lot 2A 15 FT for Lot 2B		Previously approved	No	5 FT (south)	Yes
Height (FT)	48 FT for Lot 2A 60 FT for Lot 2B		Previously approved	No	65 FT	Yes
Height (Stories)	5 stories for Lot 2A 14 stories for Lot 2B		Previously approved	No	5 stories	No
Minimum Distance Between Buildings		The minimum distance between any two buildings, other than buildings containing common walls, shall be not less than as computed under the following formula: $S=(LA+LB+2(HA+HB))/6$ Where: S = Required minimum horizontal distance between any wall of Building A at any given level and any wall of Building B at any given level or the vertical prolongation of either; LA = Total length of Building A. Building A shall be that structure which is of equal or greater length of the two buildings selected; LB = Length of Building B; HA = Height of Building A. The height of Building A is the average height above the finished grade of the structure; HB = Height of Building B.	Previously approved	No	Minimum distance between buildings is as follows: LA = 305 ft LB = 106 ft HA = 65 ft HB = 18 ft S = 96 ft Actual Distance: 120 FT	No
Maximum Building Coverage	Previously approved for Lot 2A 84% for Lot 2B		Previously approved	No	32%	No
Minimum Open Space	Previously approved for Lot 2A 16% for Lot 2B		Previously approved	No	22,135 SF or 18%	No



McFarland Johnson
 60 RAILROAD PLACE
 SUITE 402
 SARATOGA SPRINGS, NEW YORK 12866
 P:518-580-9380 F:518-580-9383
 mjnc.com

PROJECT MILESTONE
CONCEPT UPDATE

NO.	DATE	DESCRIPTION

CLIENT: **PRIME PLATTSBURGH, LLC**
PLATTSBURGH, NEW YORK
 PROJECT: **DURKEE STREET MIXED USE**

DRAWN	NSO
DESIGNED	NSO
CHECKED	TCB
SCALE	1"=20'
DATE	NOVEMBER 2019
PROJECT	18491.00



PROJECT DATA:

- APPLICANT:
PRIME PLATTSBURGH, LLC
621 COLUMBIA STREET
COHOES, NY 12047
 - EXISTING ZONING: COMMERCIAL/PLANNED UNIT DEVELOPMENT
 - LOT AREA: 2.76 ACRES (120,120 SF)
- ZONING:**
- | TAX ACC. NO. | LOT SIZE | ZONING |
|-----------------------|-------------|----------|
| EXISTING: 207.20-7-15 | ±4.66 ACRES | COMM/PUD |
| PROPOSED:XXX.XX-X-XX | ±2.76 ACRES | PUD |
- GROSS COMMERCIAL AREA: 7,250 SF
 GROSS RESTAURANT AREA: 6,150 SF
 60% CUSTOMER AREA: 3,690 SF
 40% OTHER AREA: 2,460 SF
 TOTAL APARTMENT UNITS: 115

OFF-STREET PARKING DEMAND PER CITY CODE:

COMMERCIAL (1 SPACE PER 250 SF) x 7,250 SF	29 SPACES
RESIDENTIAL (2 PER DWELLING UNIT FOR FIRST 10) x 10	20 SPACES
RESIDENTIAL (1.75 PER DWELLING UNIT OVER 10) x 105	184 SPACES
RESTAURANT	
CUSTOMER AREA (1 PER 50 SF) x 3,690 SF	74 SPACES
OTHER AREA (1 PER 250 SF) x 2,460 SF	10 SPACES
TOTAL OFF-STREET PARKING SPACES REQUIRED	319 SPACES

OFF-STREET PARKING DEMAND PER OWNER REQUIREMENTS:

COMMERCIAL (1 SPACE PER 250 SF) x 7,250 SF	29 SPACES
RESIDENTIAL (1.5 PER DWELLING UNIT) x 115	173 SPACES
RESTAURANT	
CUSTOMER AREA (1 PER 50 SF) x 3,690 SF	74 SPACES
OTHER AREA (1 PER 250 SF) x 2,460 SF	10 SPACES
TOTAL OFF-STREET PARKING SPACES REQUIRED	286 SPACES

OFF-STREET SPACES PROVIDED:

SURFACE PARKING	86 SPACES
COURTYARD PARKING	35 SPACES
UNDERGROUND PARKING	165 SPACES
TOTAL SPACES PROVIDED	286 SPACES*

*PARKING SPACES WILL BE STRIPED TO INDICATE SPACES AVAILABLE FOR PUBLIC USE

ADA PARKING:
PER NYS 2016 UNIFORM CODE SUPPLEMENT

ACCESSIBLE SPACES REQUIRED:

SURFACE PARKING	4 SPACES
COURTYARD PARKING	2 SPACES
UNDERGROUND PARKING	6 SPACES

ACCESSIBLE SPACES PROVIDED:

SURFACE PARKING	4 SPACES
COURTYARD PARKING	2 SPACES
UNDERGROUND PARKING	6 SPACES

FEATURES	CALCULATION	UNDERLYING CITY ZONING	PROPOSED
PARCEL SIZE	CHAPTER 360 SCHEDULE III	50,000 SF	120,120 SF
MIN. LOT DIMENSION	SQUARE ROOT OF LOT AREA X 0.67	232'	216'
MAX. HEIGHT IN STORIES	LOT AREA X 0.0001	14	5
MAX. BLDG HEIGHT	STORIES X 12	60'	65'
MINIMUM BUILDING SETBACKS	STORIES X 3	15'	3' NORTH 2' EAST (EXISTING) 9' WEST 5' SOUTH (EXISTING)
MAX. BLDG COVERAGE	LOT SIZE - SETBACK AREA	82%	32%
MIN. OPEN SPACE	SETBACK AREA	22,105 SF	22,135 SF

LEGEND

- CONCRETE SIDEWALK
- STAMPED CONCRETE
- LANDSCAPING
- AMENITY SPACE
- ASPHALT PAVEMENT
- BUILDING
- BUILDING OVERHANG
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING OVERHANG



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECT DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWING TITLE
CONCEPTUAL SITE PLAN

DRAWING NUMBER
C-01
 01 OF 01



McFarland Johnson
 60 RAILROAD PLACE
 SUITE 402
 SARATOGA SPRINGS, NEW YORK 12866
 P:518-580-9380 F:518-580-9383
 mjinc.com

PROJECT MILESTONE
CONCEPT UPDATE

NO.	DATE	DESCRIPTION

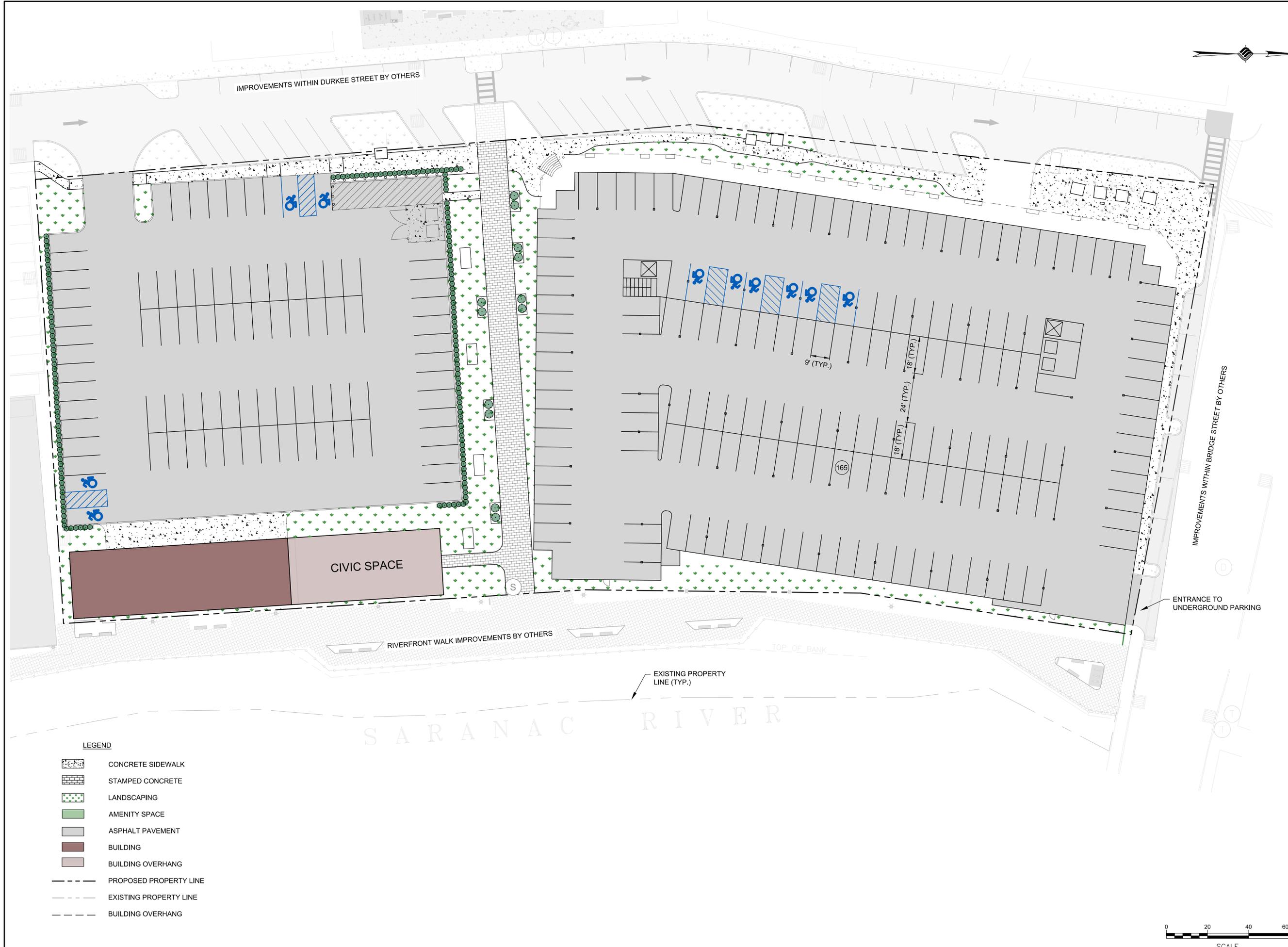
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DRAWING TITLE
BASEMENT PARKING PLAN

DRAWING NUMBER
C-01



LEGEND

- CONCRETE SIDEWALK
- STAMPED CONCRETE
- LANDSCAPING
- AMENITY SPACE
- ASPHALT PAVEMENT
- BUILDING
- BUILDING OVERHANG
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING OVERHANG



MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development

View from Bridge St & Durkee St

DRAFT

The City of Plattsburgh
Plattsburgh, NY
10/23/2019

1



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Plattsburgh Mixed Use
Development
View from Durkee St

DRAFT

The City of Plattsburgh
Plattsburgh, NY
10/23/2019

2



MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
View Looking Down Durkee St

The City of Plattsburgh
Plattsburgh, NY
11/5/2019

Figure 20



MACKENZIE ARCHITECTS P.C.

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Plattsburgh Mixed Use
Development
View Looking Down Bridge St

The City of Plattsburgh
Plattsburgh, NY
11/5/2019

Figure 21





ARTS PARK

DURKEE STREET

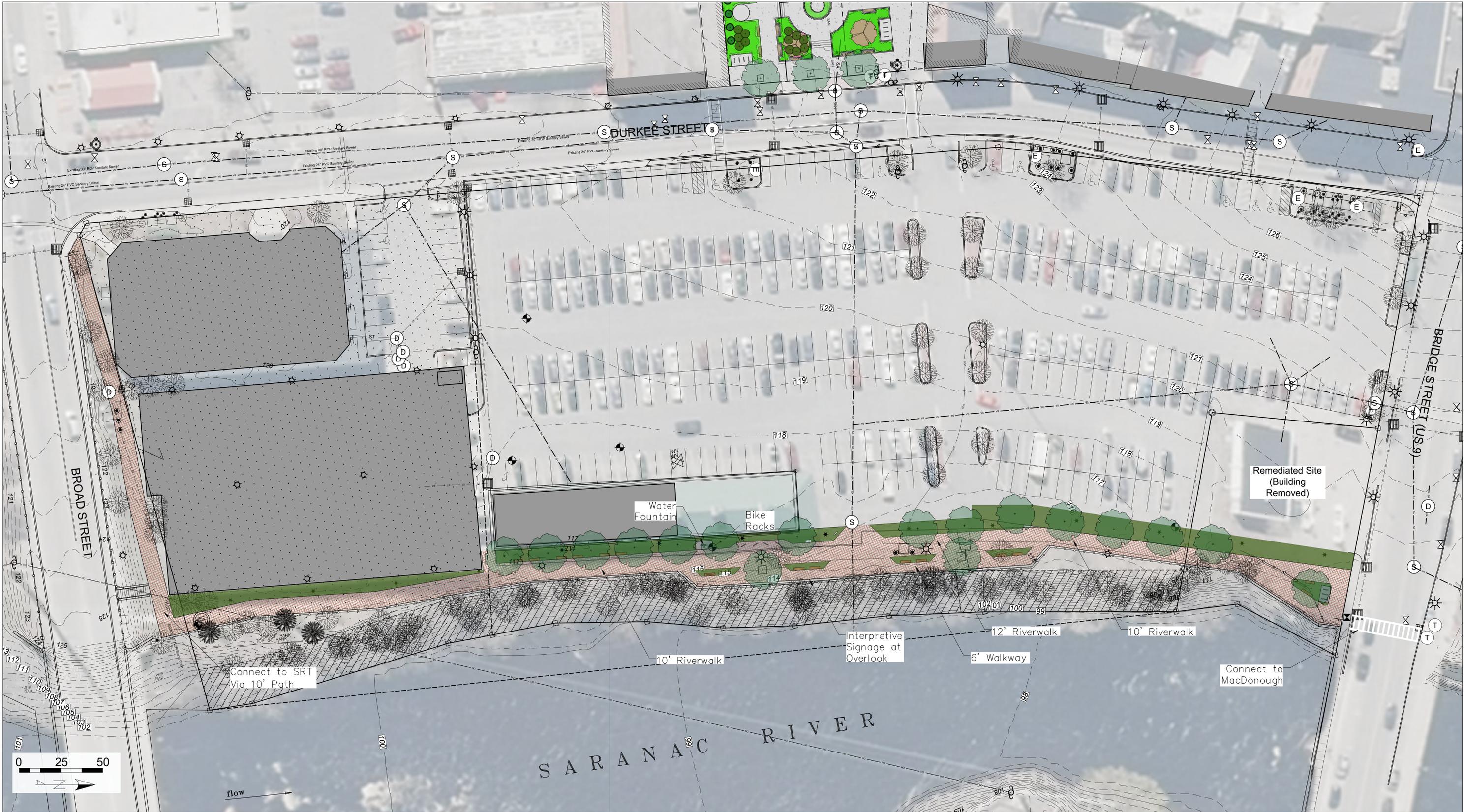
PLANNED
MIXED USE
DEVELOPMENT

RIVERWALK

BROAD STREET

BRIDGE STREET (US 9)







Community Development Office
City of Plattsburgh
41 City Hall Place
Plattsburgh, NY 12901
Phone: 518-563-7642
cdo@cityofplattsburgh-ny.gov

December 19, 2019

Ron Nolland, Chairman
City of Plattsburgh Zoning Board of Appeals
41 City Hall Place
Plattsburgh, NY 12901

Dear Chairman Nolland,

Please be advised the property identified as tax map parcel 207.20-7-15 is owned by the City of Plattsburgh. As owner, the City hereby authorizes Robert M. Sutherland P.C., Prime Plattsburgh, LLC, and McFarland Johnson, Inc. to submit and represent applications relative to the above property for projects within the City of Plattsburgh.

Respectfully,

A handwritten signature in black ink, appearing to read "Matthew Miller". The signature is fluid and cursive, with the first name "Matthew" and the last name "Miller" clearly distinguishable.

Matthew Miller
Director of Community Development
City of Plattsburgh

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1549 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1549 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1549 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

 Plattsburgh Gateway Project / Durkee Street (Environmental Restoration Project, March 2007)

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ _____ • Operation: _____ _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p>ii. Name: _____</p> <p>iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature  _____ Title _____