

PROJECT MILESTONE
CONCEPT UPDATE

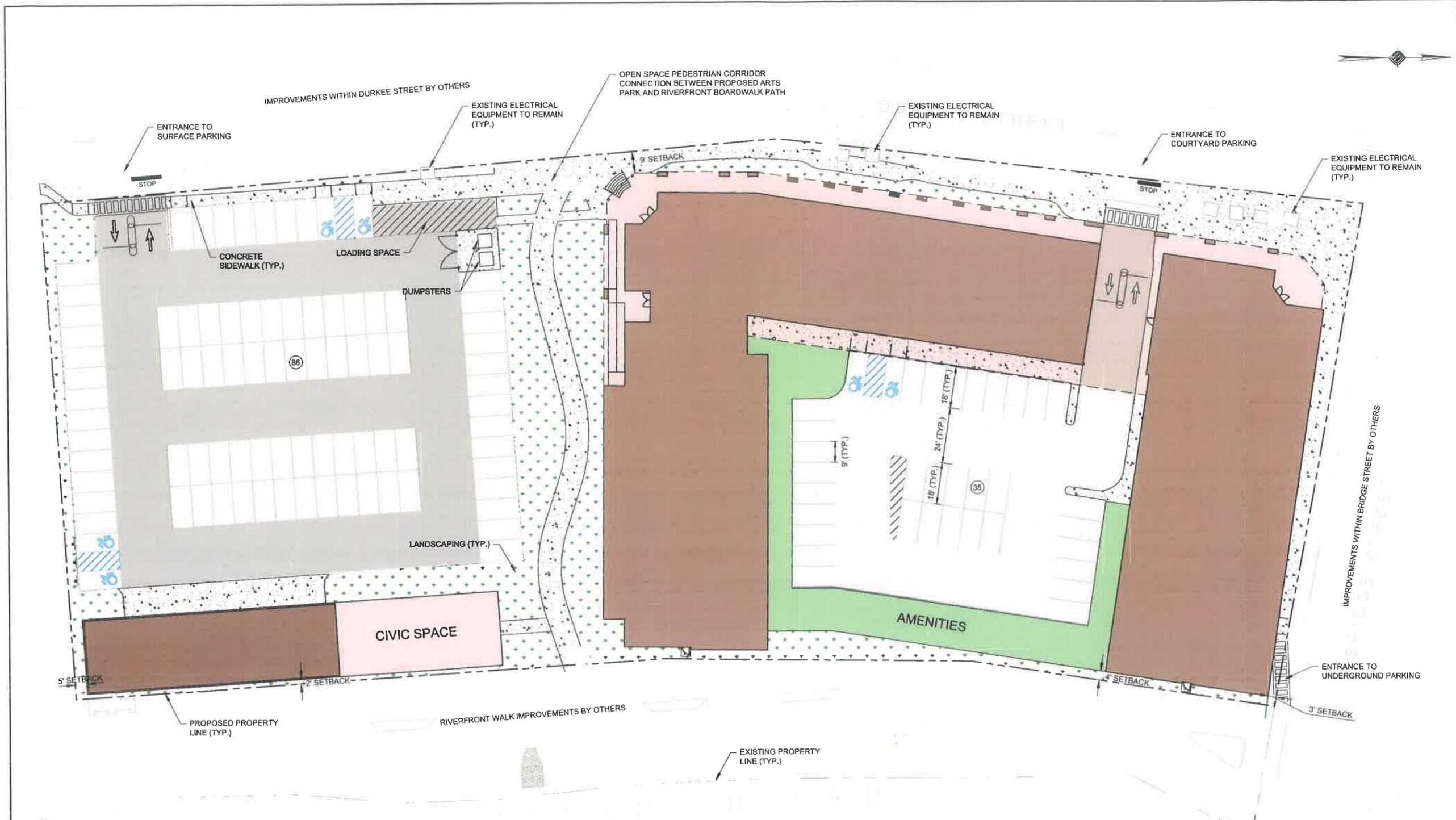
NO.	DATE	DESCRIPTION

CLIENT: **PRIME PLATTSBURGH, LLC**
PLATTSBURGH, NEW YORK
 PROJECT: **DURKEE STREET MIXED USE**

DRAWN	NSO
DESIGNED	NSO
CHECKED	TCB
SCALE	1"=20'
DATE	NOVEMBER 2019
PROJECT	18491.00

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECT DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWING TITLE
CONCEPTUAL SITE PLAN
 DRAWING NUMBER
C-01
 01 OF 01



PROJECT DATA:

- APPLICANT: PRIME PLATTSBURGH, LLC
621 COLUMBIA STREET
COHOES, NY 12047
 - EXISTING ZONING: COMMERCIAL/PLANNED UNIT DEVELOPMENT
 - LOT AREA: 2.76 ACRES (120,120 SF)
- ZONING:**
- | TAX ACC. NO. | LOT SIZE | ZONING |
|-----------------------|-------------|----------|
| EXISTING: 207.20-7-15 | ±4.66 ACRES | COMM/PUD |
| PROPOSED: XXX-XX-X-XX | ±2.76 ACRES | PUD |
- GROSS COMMERCIAL AREA: 7,250 SF
 GROSS RESTAURANT AREA: 6,150 SF
 60% CUSTOMER AREA: 3,690 SF
 40% OTHER AREA: 2,460 SF
 TOTAL APARTMENT UNITS: 115

OFF-STREET PARKING DEMAND PER CITY CODE:

COMMERCIAL (1 SPACE PER 250 SF) x 7,250 SF	29 SPACES
RESIDENTIAL (2 PER DWELLING UNIT FOR FIRST 10) x 10	20 SPACES
RESIDENTIAL (1.75 PER DWELLING UNIT OVER 10) x 105	184 SPACES
RESTAURANT	
CUSTOMER AREA (1 PER 50 SF) x 3,690 SF	74 SPACES
OTHER AREA (1 PER 250 SF) x 2,460 SF	10 SPACES
TOTAL OFF-STREET PARKING SPACES REQUIRED	317 SPACES

OFF-STREET PARKING DEMAND PER OWNER REQUIREMENTS:

COMMERCIAL (1 SPACE PER 250 SF) x 7,250 SF	29 SPACES
RESIDENTIAL (1.5 PER DWELLING UNIT) x 115	173 SPACES
RESTAURANT	
CUSTOMER AREA (1 PER 50 SF) x 3,690 SF	74 SPACES
OTHER AREA (1 PER 250 SF) x 2,460 SF	10 SPACES
TOTAL OFF-STREET PARKING SPACES REQUIRED	286 SPACES

*REDUCED RESIDENTIAL PARKING REQUIREMENTS BASED ON PREVIOUS EXPERIENCE

OFF-STREET SPACES PROVIDED:

SURFACE PARKING	86 SPACES
COURTYARD PARKING	35 SPACES
UNDERGROUND PARKING	165 SPACES
TOTAL SPACES PROVIDED	286 SPACES*

*PARKING SPACES WILL BE STRIPED TO INDICATE SPACE AVAILABLE FOR PUBLIC USE

ADA PARKING:
 PER NYS 2016 UNIFORM CODE SUPPLEMENT

ACCESSIBLE SPACES REQUIRED:

SURFACE PARKING	4 SPACES
COURTYARD PARKING	2 SPACES
UNDERGROUND PARKING	6 SPACES

ACCESSIBLE SPACES PROVIDED:

SURFACE PARKING	4 SPACES
COURTYARD PARKING	2 SPACES
UNDERGROUND PARKING	6 SPACES

FEATURES	CALCULATION	UNDERLYING CITY ZONING	PROPOSED
PARCEL SIZE	CHAPTER 360 SCHEDULE III	50,000 SF	120,120 SF
MIN. LOT DIMENSION	SQUARE ROOT OF LOT AREA X 0.67	232'	216'
MAX. HEIGHT IN STORIES	LOT AREA X 0.0001	14	5
MAX. BLDG HEIGHT	STORIES X 12	60'	65'
MINIMUM BUILDING SETBACKS	STORIES X 3	15'	3' NORTH 2' EAST (EXISTING) 9' WEST 5' SOUTH (EXISTING)
MAX. BLDG COVERAGE	LOT SIZE - SETBACK AREA	82%	32%
MIN. OPEN SPACE	SETBACK AREA	22,105 SF	22,135 SF

LEGEND

- CONCRETE SIDEWALK
- LANDSCAPING
- AMENITY SPACE
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- BUILDING
- BUILDING OVERHANG
- STONE RIP-RAP
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING OVERHANG





MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use Development

View from Bridge St. & Durkee St.

The City of Plattsburgh
Plattsburgh, NY
1/24/2020



MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

**Plattsburgh Mixed Use
Development
View from Durkee St.**

**The City of Plattsburgh
Plattsburgh, NY
1/24/2020**



MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
View from Bridge St.

The City of Plattsburgh
Plattsburgh, NY
1/24/2020



MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
View from Bridge St. 2

The City of Plattsburgh
Plattsburgh, NY
1/24/2020



1
A5.1

WEST ELEVATION

SCALE: 1" = 20'

MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
Building Elevations

The City of Plattsburgh
Plattsburgh, NY
1/24/2020

A5.1



1
A5.2

EAST ELEVATION

SCALE: 1" = 20'

MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
Building Elevations

The City of Plattsburgh
Plattsburgh, NY
1/24/2020

A5.2



1
A5.3

SOUTH ELEVATION

SCALE: 1" = 20'

MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
Building Elevations

The City of Plattsburgh
Plattsburgh, NY
1/24/2020

A5.3



1
A5.4

NORTH ELEVATION

SCALE: 1/16" = 1'-0"

MACKENZIE ARCHITECTS P.C.

162 Battery Street, Burlington, Vermont 05401 802.863.7177 (T) www.mackenziearchitects.com

Plattsburgh Mixed Use
Development
Building Elevations

The City of Plattsburgh
Plattsburgh, NY
1/24/2020

A5.4



McFarland Johnson
 60 RAILROAD PLACE
 SUITE 402
 SARATOGA SPRINGS, NEW YORK 12866
 P:518-580-9380 F:518-580-9383
 mjinc.com

PROJECT MILESTONE
SITE PLAN SUBMISSION

NO.	DATE	DESCRIPTION

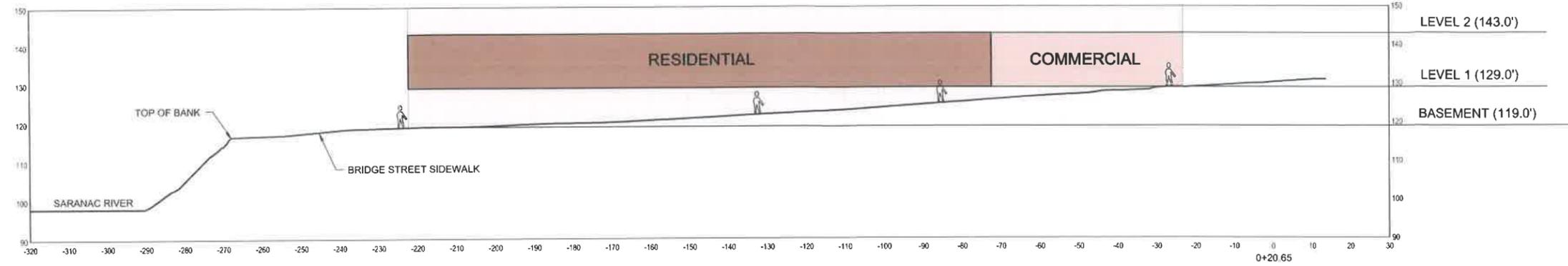
CLIENT: **PRIME PLATTSBURGH, LLC**
CITY OF PLATTSBURGH, NEW YORK
 PROJECT: **DURKEE STREET MIXED USE DEVELOPMENT**

DRAWN	NSO
DESIGNED	NSO
CHECKED	TCB
SCALE	1"=15'
DATE	JANUARY 2020
PROJECT	18491.00

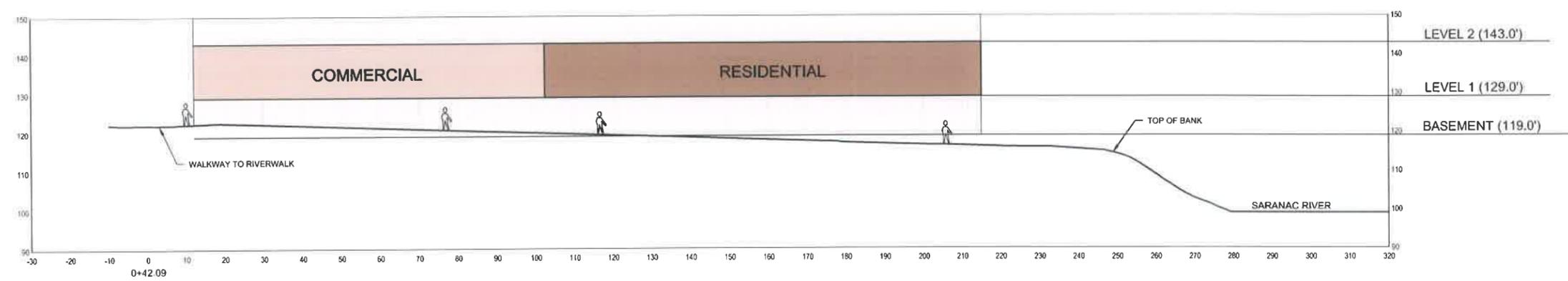
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DRAWING TITLE
SECTION VIEWS

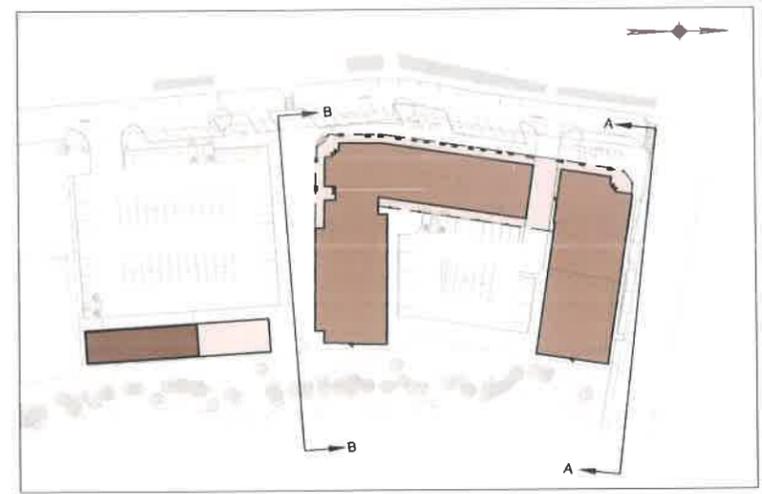
DRAWING NUMBER
SV-01
 01 OF 01



SECTION VIEW A - A



SECTION VIEW B - B



KEY MAP

