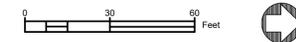


SITE PLAN



CITY OF PLATTSBURGH

CITY HALL
41 CITY HALL PLACE
PLATTSBURGH, NY 12901

**DOWNTOWN REVITALIZATION INITIATIVE:
STREETSCAPE AND RIVERFRONT ACCESS
RIVERWALK: BRIDGE TO BROAD STREET**

This project is funded by a Streetscapes grant administered by the New York State Department of State through the City of Plattsburgh Downtown Revitalization Initiative.

CONSULTANTS:

LANDSCAPE ARCHITECTURE:
SARATOGA ASSOCIATES
LANDSCAPE ARCHITECTS, ARCHITECTS,
ENGINEERS AND PLANNERS, P.C.
21 CONGRESS STREET, SUITE 201
SARATOGA SPRINGS, NY 12866

SURVEY:
ROBERT M. SUTHERLAND, PC
11 MACDONOUGH STREET
PLATTSBURGH, NY 12901

LIST OF DRAWINGS

GENERAL:

G100 COVER SHEET

SURVEY:

L100 SURVEY/EXISTING CONDITIONS

LANDSCAPE ARCHITECTURE:

- L200 DEMOLITION AND EROSION CONTROL PLAN
- L300 LAYOUT AND MATERIALS PLAN
- L400 GRADING AND DRAINAGE PLAN
- L401 GRADING AND DRAINAGE PLAN
- L500 SITE UTILITY PLAN
- L600 PLANTING PLAN
- L700 SITE DETAILS
- L701 SITE DETAILS
- L702 DRI SIGNAGE

1. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON AVAILABLE RECORD MAPS. THEIR EXACT LOCATION MAY DIFFER FROM THAT AS SHOWN AND OTHERS MAY EXIST. CONTRACTOR SHALL VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE DIRECTOR'S REPRESENTATIVE OF ANY DISCREPANCIES WITH THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROCEED WITH CARE IN EXECUTING THE WORK. CONTACT U.F.P.O. 48 HOURS BEFORE DIGGING AT 1-800-962-7962.
2. ANY EXISTING UNDERGROUND UTILITIES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE RESTORED TO ORIGINAL CONDITION IN CONFORMANCE WITH THE AGENCY HAVING JURISDICTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT EXISTING UTILITIES WILL NOT BE DAMAGED DURING THE COURSE OF NEW CONSTRUCTION. DAMAGED UTILITIES SHALL BE RESTORED AT THE EXPENSE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONDITIONS THAT VARY FROM THE PLANS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT CONDITIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING HIS WORK IN A SAFE MANNER. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST APPLICABLE O.S.H.A REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PUBLIC TRAFFIC IN A SAFE AND EFFICIENT MANNER AT ALL TIMES DURING THE CONSTRUCTION PERIOD. PROVIDE FENCING, SIGNS, FLAGMEN AND OTHER FACILITIES AS NECESSARY.
7. ALL UNUSABLE EXCESS MATERIALS AND UNSUITABLE SOILS AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.

PROJECT SITE



LOCATION PLAN

AARON J. OVIDS, P.E.
PRESIDENT

RMS

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RMS P.C.DM



City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk:
Bridge to Broad Streets

REVISIONS				
NO	DATE	DESCRIPTION	DRAWN	CHK

SARATOGA ASSOCIATES PROJECT #: 18039.10

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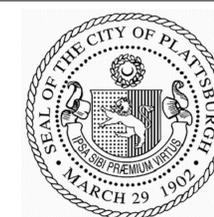
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SCALE: 1"=30'-0"

COVER SHEET **G100**

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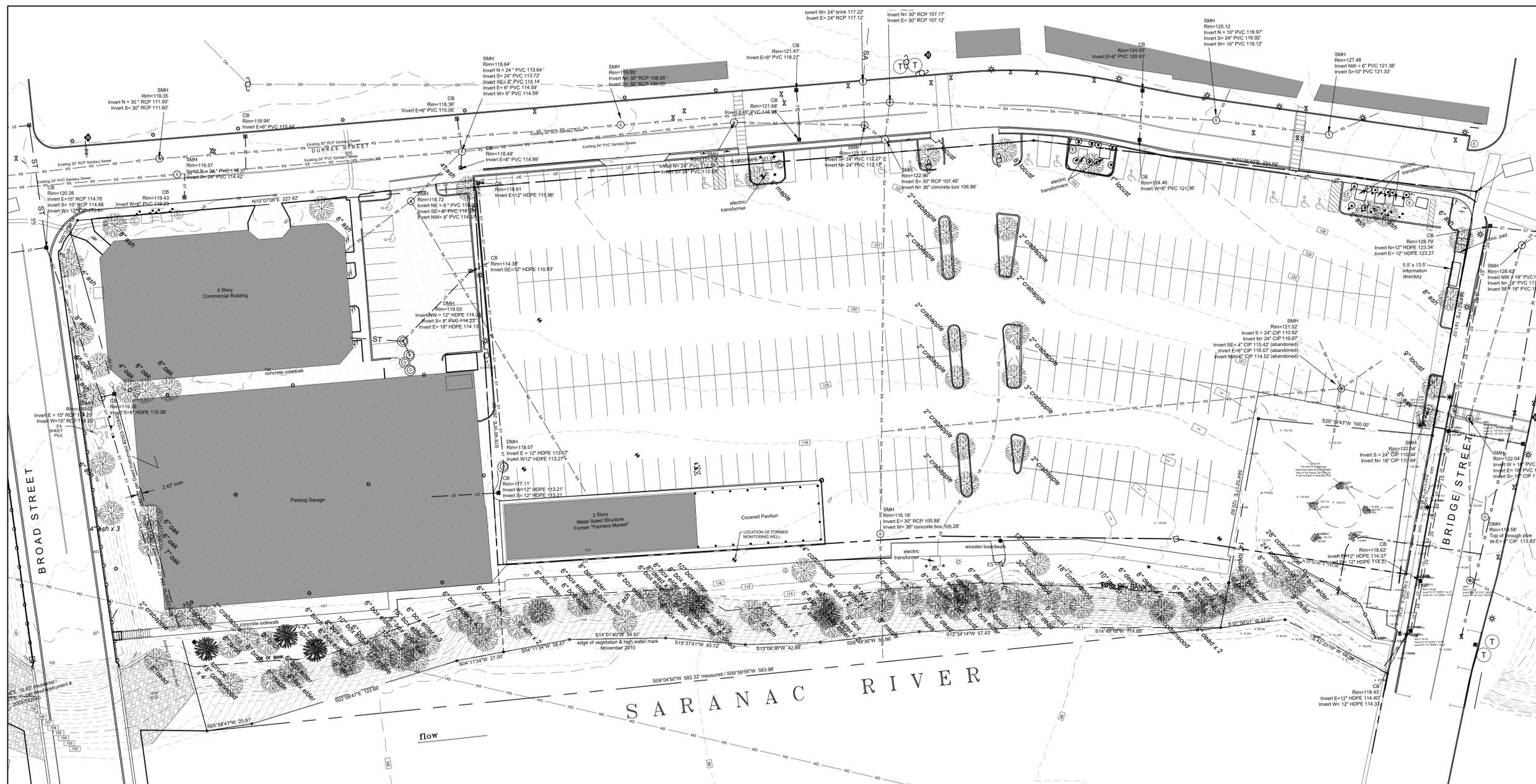
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EXISTING
CONDITIONS
PLAN

L100



NOTE:
SURVEY INFORMATION PROVIDED BY ROBERT M. SUTHERLAND, P.C., "ALTA SURVEY SHOWING CERTAIN LANDS OF THE CITY OF PLATTSBURGH: TAX MAP REFERENCE SECTION 207.20 - BLOCK 7 - LOT 14 & LOT 15," PREPARED IN SEPTEMBER AND OCTOBER OF 2018.

MAP NOTES:

- Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of section 7209, sub-division 2 of the New York State Education Law.
- Only copies from the original of this survey marked with an original of the Land Surveyor's embossed seal shall be considered valid true copies. (mylar prints shall be stamped with the surveyor's ink seal with an original signature)
- Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person for whom the survey is prepared and on his behalf the title company, governmental agency, and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional instructions or subsequent owners.
- Copyright 2018, Robert M. Sutherland, P.C. All rights reserved.
- The location of sub-surface improvements are approximate and compiled from field location and mapping provided by the respective utility companies. The contractor shall confirm the location of all utilities prior to the commencement of excavation.
- Subject to any findings of an accurate abstract of title or those discoverable by inspection.
- All easements and right-of-ways of record as indicated in Title Insurance Commitment No. 15-Cen1612-ORT, issued by Old Republic National Title Insurance Company with an effective date of November 17, 2006, or easements and right-of-ways that are discoverable by inspection, are indicated hereon.
- Subject to any and all right of ways and easements of record, if any.
- North arrow and bearings based on grid north NAO 83 New York East zone 18.
- Vertical datum based on NAVD 1988.
- All distances shown hereon are ground distances.
- Riparian rights, if any, have not been established as a result of this survey.
- Building offsets, as shown on this map, are not to be used for construction purposes.
- Missing property corners were not set as a result of this survey.

REFERENCE MAPS:

- "Map of Lands of City of Plattsburgh 44-48 Margaret Street, Plattsburgh," prepared by Joseph J. Martina, L.S., dated September 30, 1974 and filed in the Clinton County Clerk's Office in Book 6 Page 57.
- "Survey Map Showing Parcels of Land (Parcels A-J) owned by City of Plattsburgh Proposed to be conveyed to City Plaza Associates," prepared by Joly and Russo Land Surveyors dated September 25, 1989 and filed in Clinton County Clerk's Office in Book 19 Page 71.
- "Boundary Survey Portion of Lands of The City of Plattsburgh," prepared by C.T. Male Associates, P.C., dated October 5, 2004 and on file in the office of Robert M. Sutherland, P.C.
- "Map Showing Plattsburgh Gateway-Phase 1 Site Plan," prepared by Robert M. Sutherland, P.C. dated May 12, 2006.

REFERENCE DEEDS:

- City Plaza Associates to City of Plattsburgh by deed dated February 27, 2003 and recorded on Instrument# 2003-152840 on March 12, 2003 in the Clinton County Clerk's Office.
- Lease to IGV-NY, LLC to City of Plattsburgh by deed dated May 26, 2006 and recorded as Instrument# 2006-200533 on November 17, 2006 in the Clinton County Clerk's Office.
- Richard A. Marks to City of Plattsburgh by deed dated July 9, 2014 and recorded on Instrument# 2014-265603 on July 09, 2014 in the Clinton County Clerk's Office.

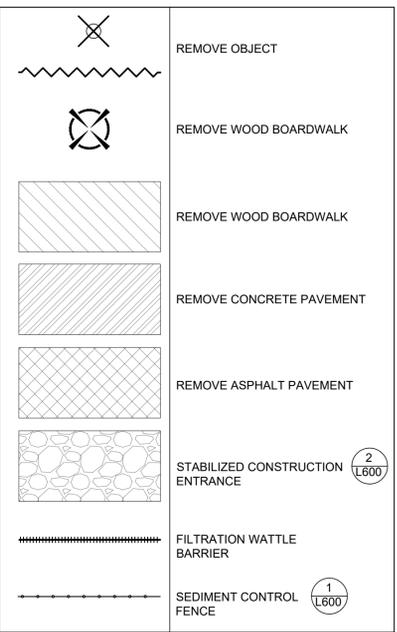
SURVEY LEGEND:

●	5/8" IRON ROD W/ RMS SURVEY CAP (TO BE SET)	⬇	MONITORING WELL
○	FOUND PROPERTY EVIDENCE (AS DESCRIBED)	⊕	GAS MARKER
□	COMPUTED CORNER	⊙	GAS METER
⊕	FIRE HYDRANT	⊠	GAS VALVE
⊙	SANITARY MANHOLE	⊞	ELECTRIC METER
⊞	DRAINAGE MANHOLE	⊗	DECIDUOUS TREE
⊞	CATCH BASIN ROUND	⊘	CONIFEROUS TREE
⊞	CATCH BASIN SQUARE	—	WATERLINE
⊞	TELEPHONE PEDESTAL	—	SANITARY LINE
⊞	CABLE PEDESTAL	—	STORM LINE
⊞	WATER VALVE	—	UNDERGROUND ELECTRIC
⊞	WATER SHUTOFF	—	UNDERGROUND TELEPHONE
⊞	LIGHT POLE	—	UNDERGROUND GAS
⊞	UTILITY POLE	—	PROPERTY LINE
⊞	SIGN	---	ADJOINER PROPERTY LINE
⊞	BOLLARD	▭	LEASE AREA
⊞	MONITORING WELL	▨	PUBLIC EASEMENT AREA

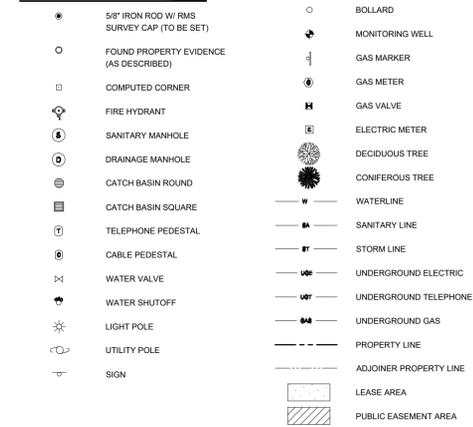




DEMOLITION LEGEND:



SURVEY LEGEND:



TREE REMOVAL TABLE

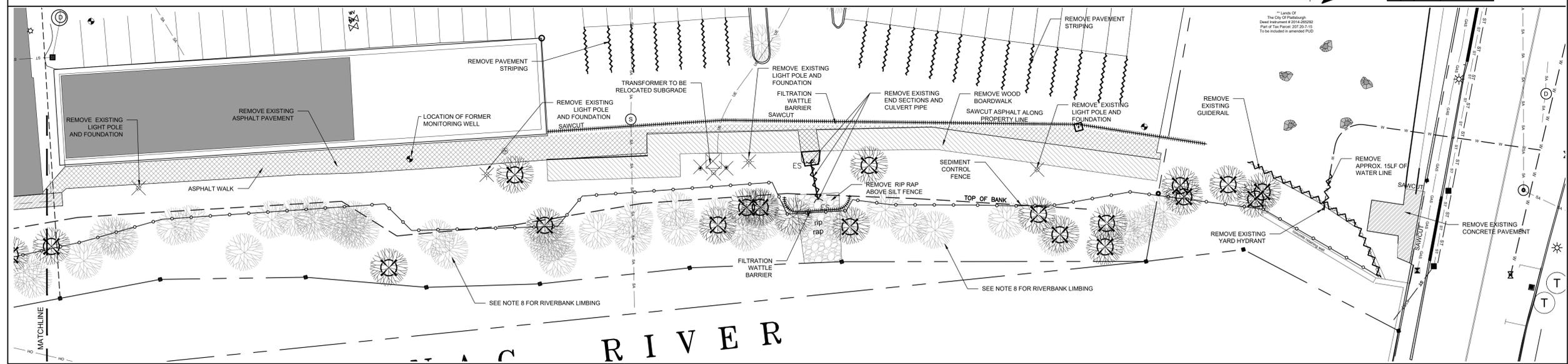
SIZE	SPECIES
8"	BOX ELDER
24"	COTTONWOOD
9"	DEAD
8"	LOCUST
14"	LOCUST
8"	BOX ELDER
6"	DEAD
8" (X2)	DEAD
8" (X2)	DEAD
6"	DEAD
13"	MAPLE
10"	DEAD
6"	DEAD
6"	DEAD
6"	BOX ELDER
6"	DEAD
14"	COTTONWOOD
8"	ASH
6"	DEAD
6"	BOX ELDER
10"	DEAD
6"	BIRCH
6"	SPRUCE
6"	BIRCH
8"	BIRCH
6"	BIRCH
4"	SPRUCE
2"	CRABAPPLE
2"	CRABAPPLE
2"	CRABAPPLE
6"	DEAD
7"	OAK
4" (X3)	ASH
8"	ASH
6"	OAK
8"	ASH
6"	ASH

DEMOLITION NOTES:

- THIS DRAWING IS BASED ON A SURVEY OF WESTELCOM PARK, DATED 01-25-2019, PREPARED BY KC ENGINEERING AND LAND SURVEYING, P.C.
- PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UNDERGROUND UTILITY LOCATIONS. CALL 1-800-962-7962 OR VISIT WWW.DIGSAFELYNEWYORK.COM FOR MORE INFORMATION.
- THE CONTRACTOR SHALL EXERCISE CARE DURING ALL REMOVAL OPERATIONS TO ENSURE THE PROTECTION OF EXISTING FACILITIES TO REMAIN. DAMAGED FACILITIES INTENDED TO REMAIN SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- CONTACT CITY DPW IF ANY UNIDENTIFIED UTILITIES ARE ENCOUNTERED DURING SANITARY PIPE REMOVAL. ANY UNIDENTIFIED PIPING SHOULD BE TIED INTO SANITARY OR STORM LINES AS RECOMMENDED BY CITY DPW.
- THE CONTRACTOR SHALL VERIFY WITH THE OWNER ANY ITEMS INDICATED TO BE REMOVED THAT WILL BE SALVAGED. DELIVER SALVAGED MATERIALS TO A STORAGE AREA DESIGNATED BY THE OWNER.
- PHASED ROAD CLOSURE FOR SANITARY WORK WITHIN MARGARET AND DURKEE STREETS TO BE COORDINATED WITH CITY DPW.
- TREES BEYOND IMMEDIATE WORK AREA NOTED TO BE REMOVED SHALL BE CUT FLUSH WITH GRADE. STUMPS TO REMAIN IN PLACE FOR BANK STABILIZATION.
- LIMB UP ALL TREES ALONG BANK TO PROVIDE CLEAR SIGHTLINES TO THE RIVER FROM AN ELEVATION OF 6' ABOVE FINISHED GRADE OF THE RIVERWALK. LIMBED HEIGHT SHALL NOT BE BASED ON 6' ABOVE GRADE AT BASE OF EXISTING TREES.

EROSION CONTROL NOTES:

- ANY DISTURBED AREAS THAT ARE LEFT EXPOSED MORE THAN 14 DAYS, AND ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE A TEMPORARY MULCHING AND/OR SEEDING IF ESTABLISHING THE PERMANENT COVER IS NOT FEASIBLE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY SEEDED COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL.
- EXISTING PAVED ROADWAYS AND PARKING LOTS SHALL BE KEPT CLEAN AT ALL TIMES.
- DUST CONTROL - WATER SHALL BE APPLIED BY SPRINKLER OR WATER TRUCK DURING CONSTRUCTION OPERATIONS TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL THE SITE IS STABILIZED.
- THE CONTRACTOR SHALL INSPECT THE EFFECTIVENESS AND CONDITION OF EROSION CONTROL DEVICES DURING STORM EVENTS, AFTER EACH RAINFALL OF 0.5 INCH MAGNITUDE OR GREATER, PRIOR TO WEEKENDS AND PRIOR TO FORECASTED STORM EVENTS.
- THE CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED EROSION CONTROL DEVICES IMMEDIATELY OR AS SOON AS PRACTICAL.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED AND THE FINAL INSPECTION HAS BEEN PERFORMED BY THE OWNER'S REPRESENTATIVE, REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.



Landscape Architects, Architects, Engineers, and Planners, P.C.

AARON J. OVIDS, P.E. PRESIDENT

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RMS P.C. DDM



City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk: Bridge to Broad Streets

REVISIONS

NO	DATE	DESCRIPTION	DRAWN	CHK

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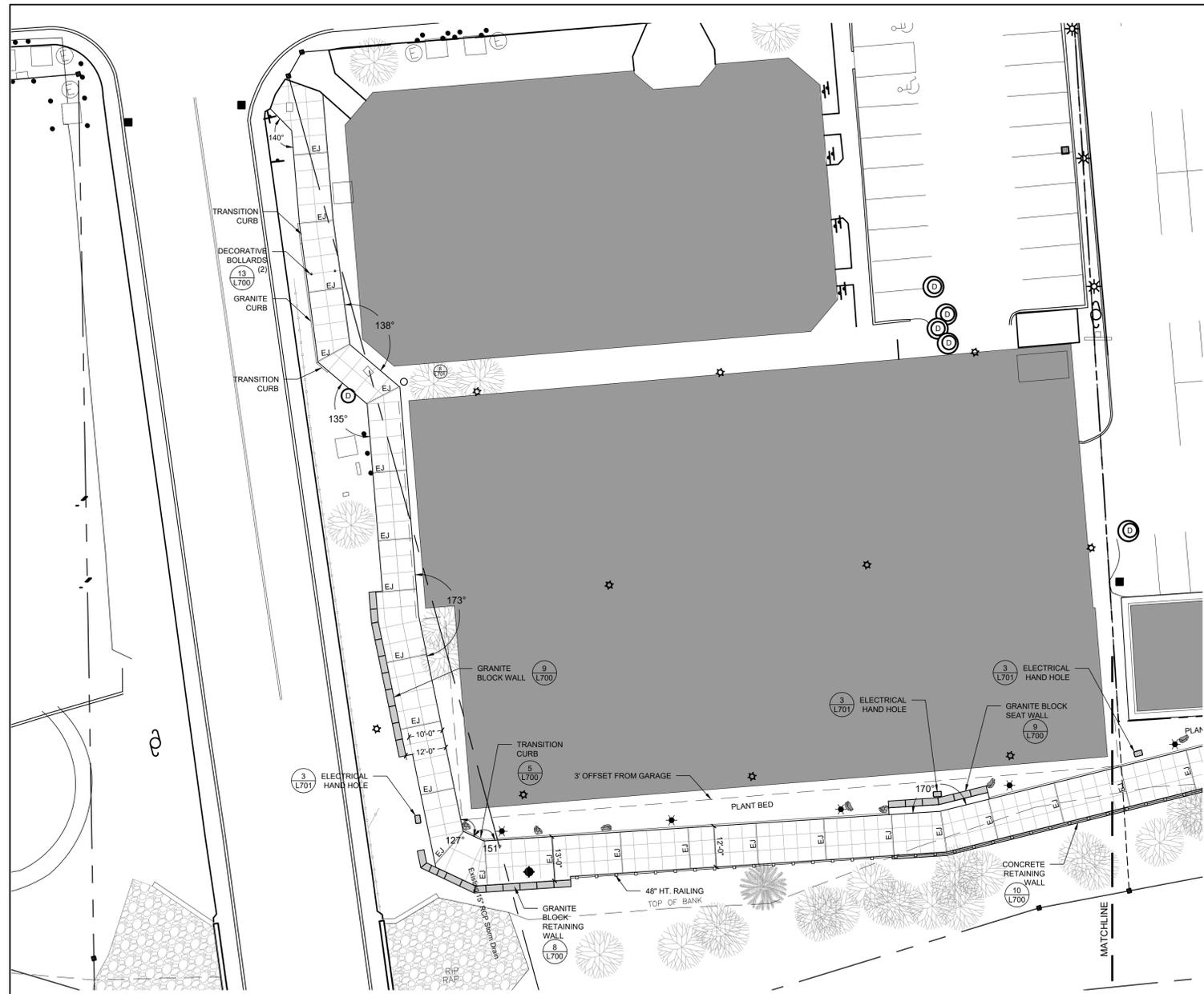
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EROSION CONTROL & DEMOLITION PLAN

L200

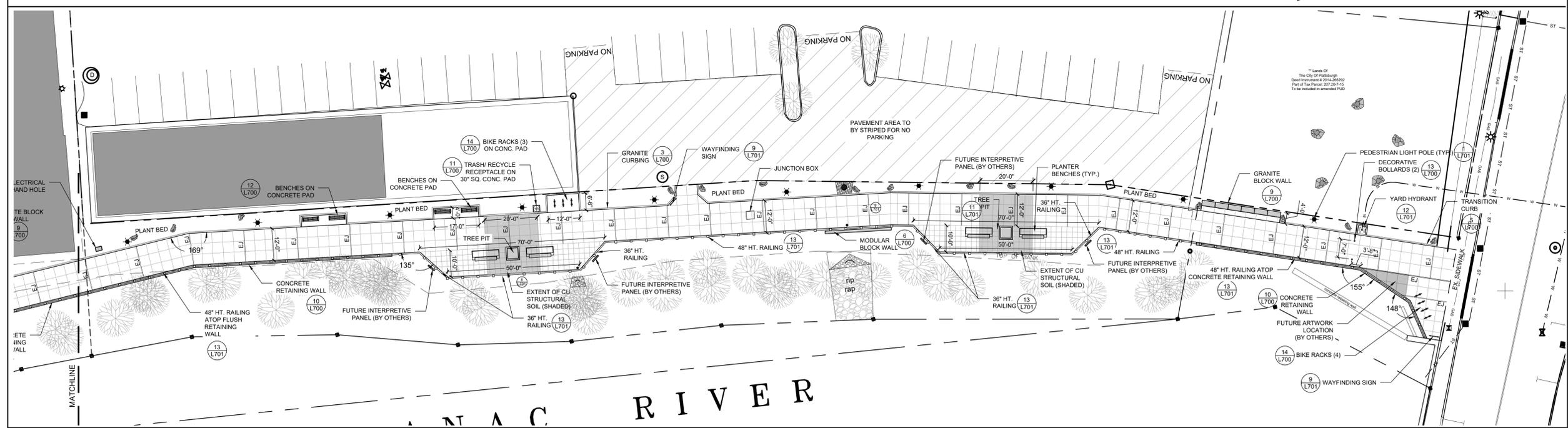


LAYOUT NOTES

1. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UNDERGROUND UTILITY LOCATIONS.
2. THE CONTRACTOR SHALL STAKE OUT ALL WORK IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
3. ALL DIMENSIONS SHALL BE FROM THE FACE OF EDGING, CURBS, OR WALLS UNLESS OTHERWISE NOTED.
4. ALL NEW PAVEMENTS AND CURBS SHALL MEET EXISTING PAVEMENTS AND CURBS WITH A SMOOTH TRANSITION AND FLUSH JOINT.
5. THE CONTRACTOR SHALL PROVIDE A 1.5% CROSS SLOPE ON ALL CONCRETE WALKS CONFORMING TO ADA REQUIREMENTS.
6. THE CONTRACTOR SHALL PROVIDE WARNING CONES AND BARRICADES AS REQUIRED TO PROTECT THE PUBLIC FROM CONSTRUCTION OPERATIONS.
7. SUCCESSFUL LOW BIDDER WILL BE PROVIDED A CAD FILE FOR LAYOUT PURPOSES.

LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVEMENT- PEDESTRIAN TRAFFIC (EJ = EXPANSION JOINT)
	GRANITE BLOCK RETAINING WALL (8.9 L700)
	GRANITE CURB (3.5 L700)
	RAILING (13 L701)
	TRADITIONAL BENCH (12 L700)
	PLANTER BENCH
	BIKE RACKS (14 L700)
	WAYFINDING SIGN (9 L701)
	TRASH & RECYCLING RECEPTACLE (11 L700)
	PEDESTRIAN LIGHT POLE (1 L701)



Landscape Architects, Architects, Engineers, and Planners, P.C.

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City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk: Bridge to Broad Streets

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LAYOUT AND MATERIALS PLAN

L300

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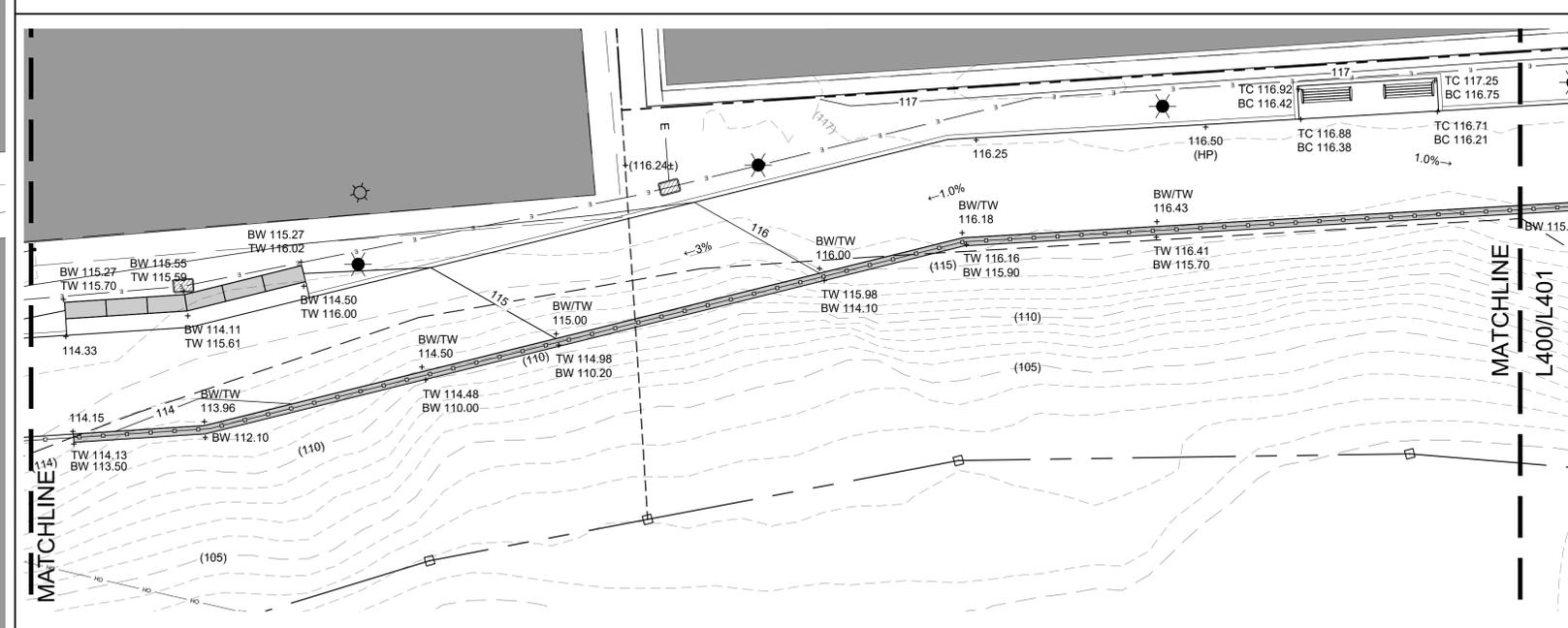
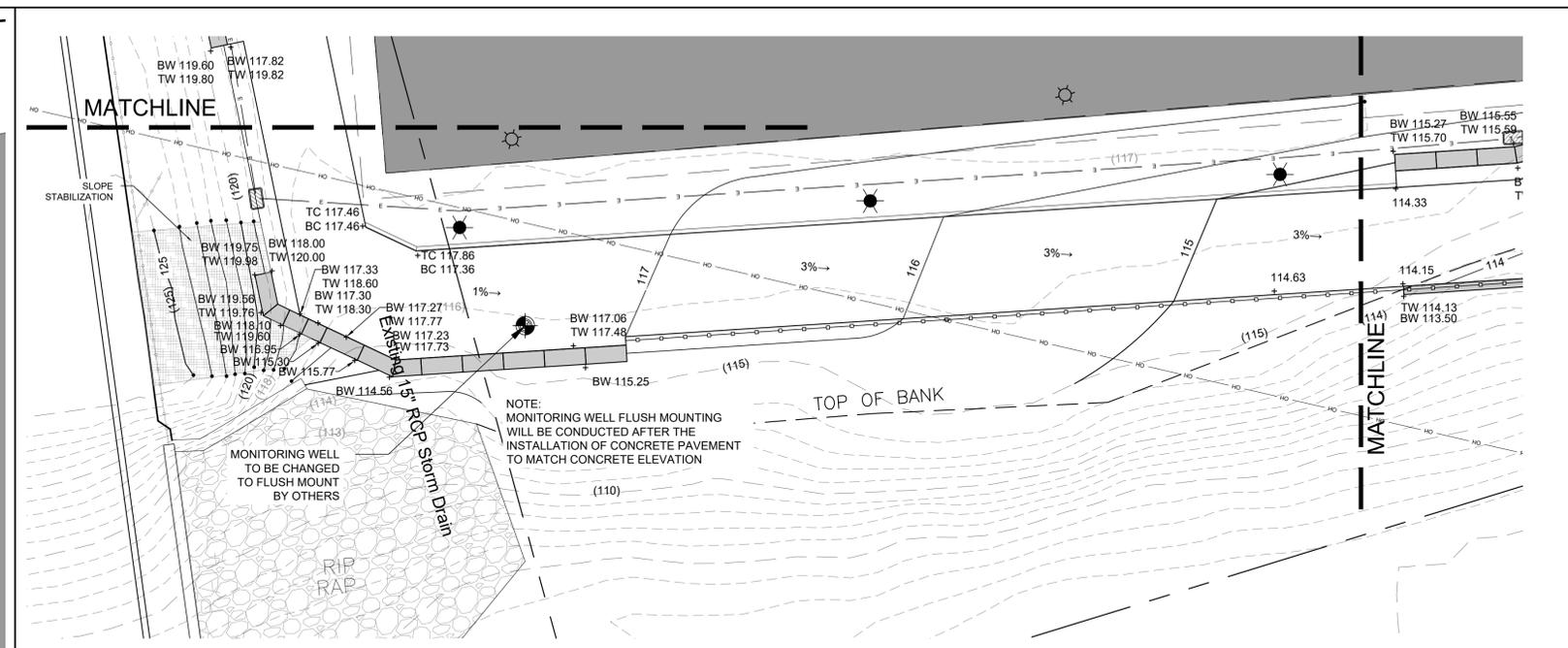
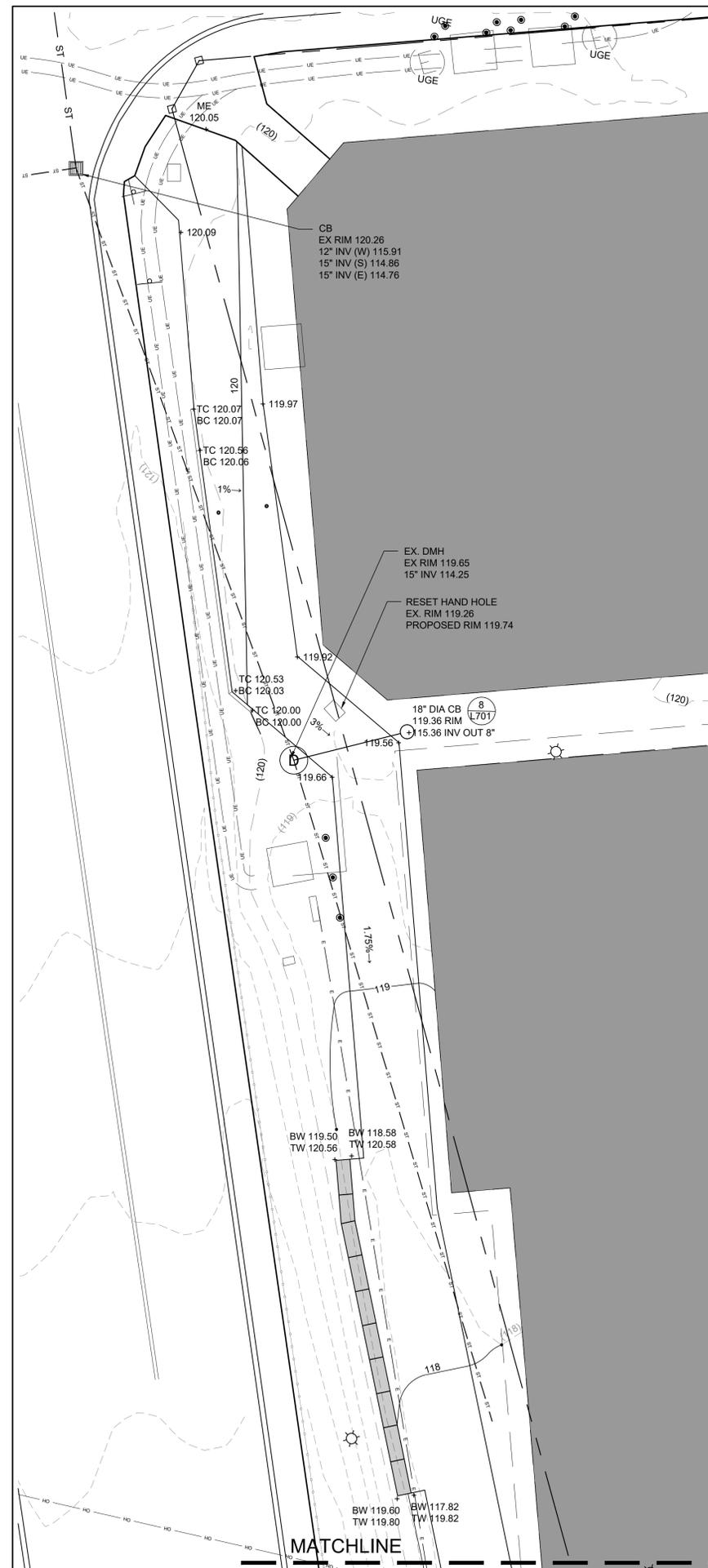
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GRADING AND DRAINAGE PLAN

L400

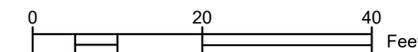


GRADING LEGEND

	EXISTING UNDERGROUND ELECTRIC
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	BOTTOM/TOP OF CURB
	BOTTOM/TOP OF WALL
	DIRECTION OF SURFACE FLOW AND SLOPE
	AREA DRAIN
	STORM SEWER

GRADING AND DRAINAGE NOTES

- PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UNDERGROUND UTILITY LOCATIONS.
- THE CONTRACTOR SHALL STAKE OUT ALL GRADES IN THE FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL GRADE THE SITE TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND STORM WATER FACILITIES.
- ALL DRAINAGE INLETS SHALL BE SET AT THE LOW POINT WITHIN THE SURROUNDING AREA AND RECEIVE INLET PROTECTION DURING CONSTRUCTION IN ACCORDANCE WITH THE DETAIL.
- TRANSITIONS FROM ALL NEW PAVEMENTS TO EXISTING PAVEMENTS SHALL BE SMOOTH AND FLUSH. SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 1.75% IN ACCORDANCE WITH ADA STANDARDS. DIRECTION-OF-TRAVEL SLOPES SHALL NOT EXCEED 4.75%.
- REFER TO DETAIL 10/L701 FOR SLOPE STABILIZATION
- MONITORING WELL FLUSH MOUNTING WILL BE CONDUCTED AFTER THE INSTALLATION OF CONCRETE PAVEMENT TO MATCH CONCRETE ELEVATION



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City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk: Bridge to Broad Streets

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GRADING AND DRAINAGE PLAN

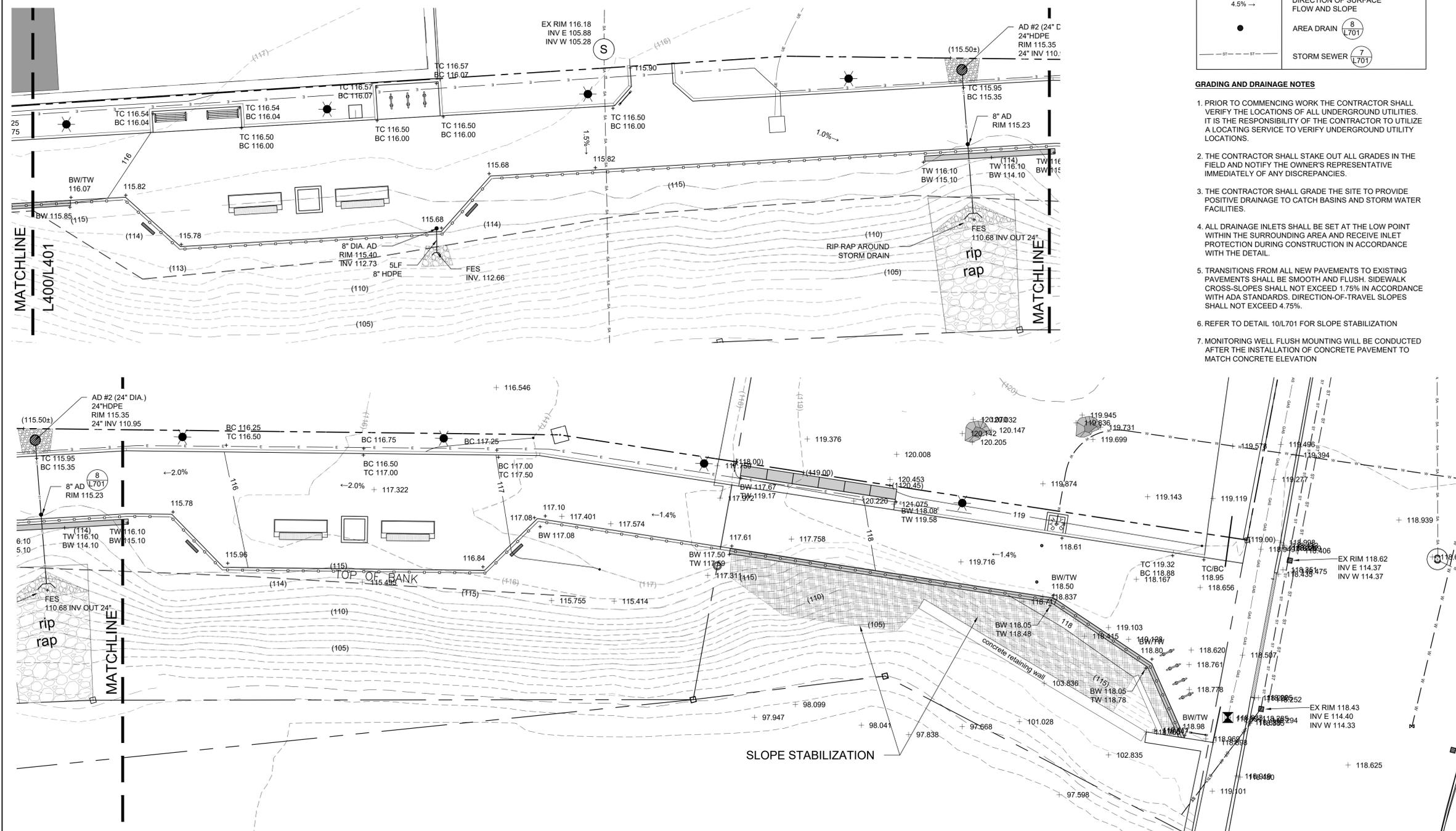
L401

GRADING LEGEND

---(4.75)---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE
+ 124.55	EXISTING SPOT ELEVATIONS
+ 124.55	PROPOSED SPOT ELEVATIONS
+ BC124.30	BOTTOM/TOP OF CURB
+ TC124.80	BOTTOM/TOP OF WALL
+ BW124.30	BOTTOM/TOP OF WALL
+ TW124.80	BOTTOM/TOP OF WALL
4.5% →	DIRECTION OF SURFACE FLOW AND SLOPE
●	AREA DRAIN (8 L701)
○	STORM SEWER (7 L701)

GRADING AND DRAINAGE NOTES

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2. THE CONTRACTOR SHALL STAKE OUT ALL GRADES IN THE FIELD AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL GRADE THE SITE TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND STORM WATER FACILITIES.
4. ALL DRAINAGE INLETS SHALL BE SET AT THE LOW POINT WITHIN THE SURROUNDING AREA AND RECEIVE INLET PROTECTION DURING CONSTRUCTION IN ACCORDANCE WITH THE DETAIL.
5. TRANSITIONS FROM ALL NEW PAVEMENTS TO EXISTING PAVEMENTS SHALL BE SMOOTH AND FLUSH. SIDEWALK CROSS-SLOPES SHALL NOT EXCEED 1.75% IN ACCORDANCE WITH ADA STANDARDS. DIRECTION-OF-TRAVEL SLOPES SHALL NOT EXCEED 4.75%.
6. REFER TO DETAIL 10/L701 FOR SLOPE STABILIZATION
7. MONITORING WELL FLUSH MOUNTING WILL BE CONDUCTED AFTER THE INSTALLATION OF CONCRETE PAVEMENT TO MATCH CONCRETE ELEVATION



AARON J. OVIDS, P.E.
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City of Plattsburgh, NY

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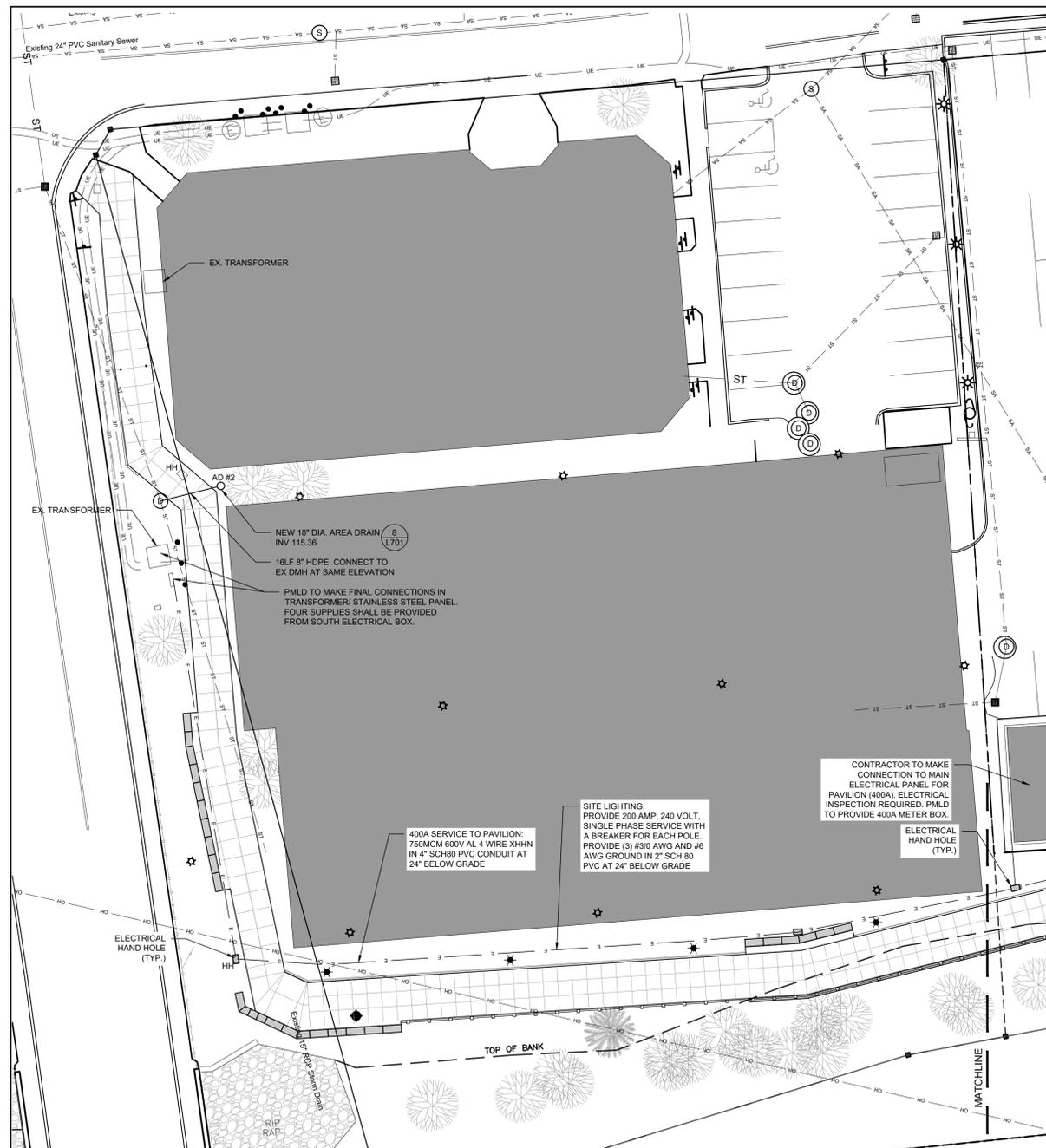
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SCALE: 1"=20'-0"

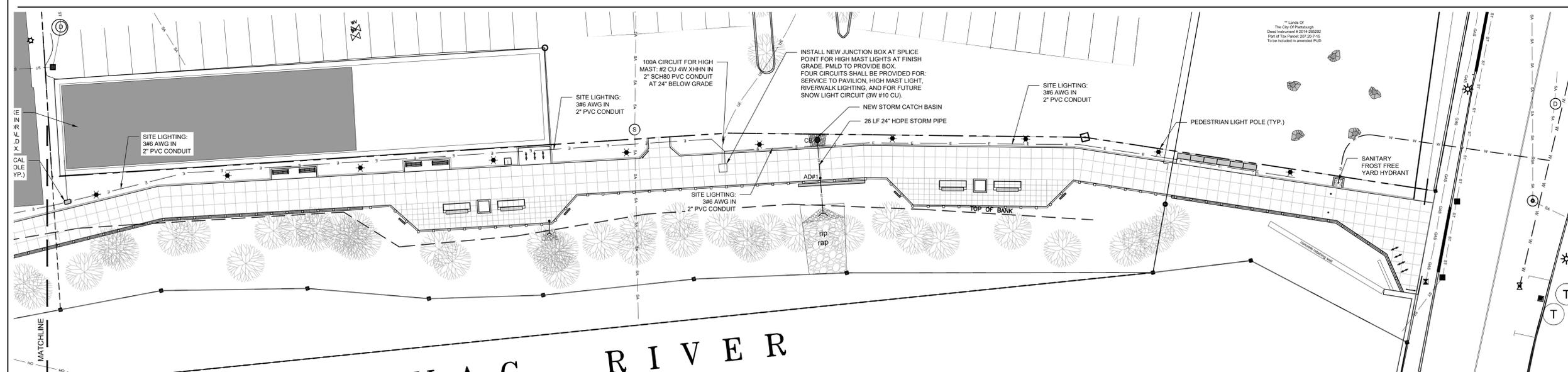
SITE UTILITY PLAN **L500**



UTILITY LEGEND	
	AREA DRAIN (8 L701)
	STORM SEWER PIPE TRENCH (7 L701)
	EXISTING SANITARY LINE
	PROPOSED SANITARY PIPE
	EXISTING ELECTRIC LINE
	PROPOSED ELECTRIC LINE (2 L701)
	PROPOSED SITE LIGHTING (1 L701)
	EXISTING LIGHTING
	EXISTING WATER LINE
	YARD HYDRANT
	EXISTING GAS LINE

UTILITY NOTES

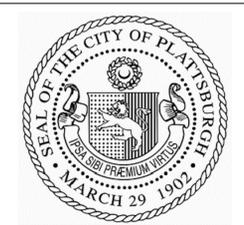
- PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO UTILIZE A LOCATING SERVICE TO VERIFY UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR SHALL COORDINATE CLOSELY WITH PLATTSBURGH MUNICIPAL LIGHTING DEPARTMENT (PMLD) FOR THE REMOVAL OF THE EXISTING ELECTRICAL TRANSFORMER AND INSTALLATION OF NEW EQUIPMENT WITHIN THE PROPERTY BOUNDARIES.
- PMLD TO DESIGNATE SOURCES OF ELECTRICAL POWER (TRANSFORMER/STAINLESS STEEL PANEL NEAR PARKING GARAGE).
- PMLD TO PERFORM RETIREMENT OF OLD TRANSFORMER, CONDUCTOR, STAINLESS STEEL PANEL, CONCRETE VAULT, AND EXISTING ANTIQUE-STYLE STREET LIGHTS ALONG EXISTING PATH.



AARON J. OVIDS, P.E.
PRESIDENT

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RMS P.C. COM



City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk:
Bridge to Broad Streets

REVISIONS				
NO	DATE	DESCRIPTION	DRAWN	CHK

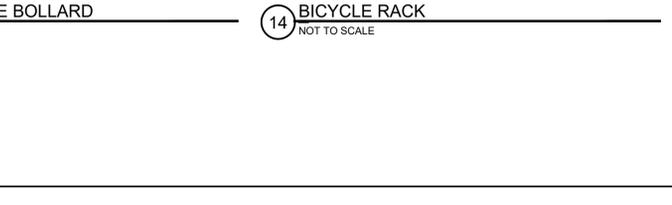
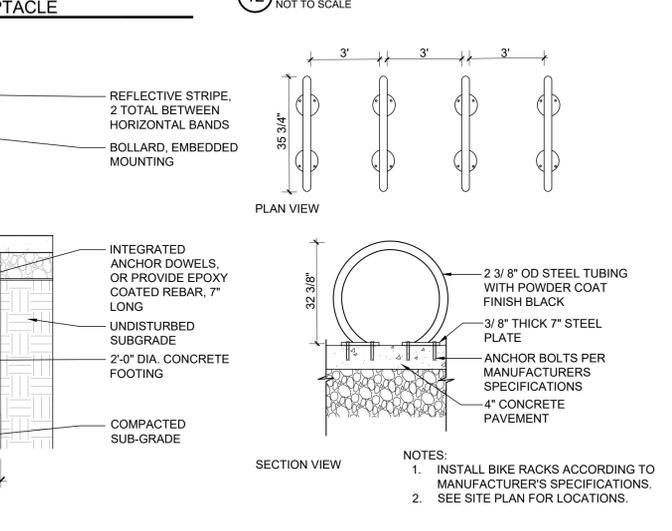
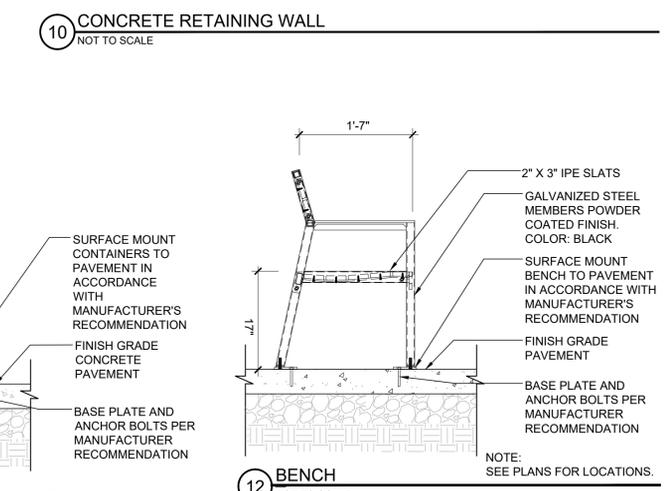
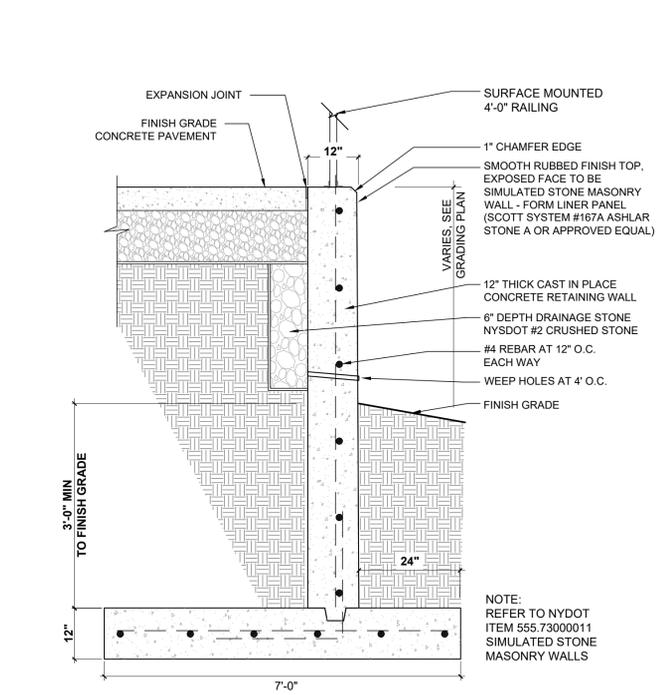
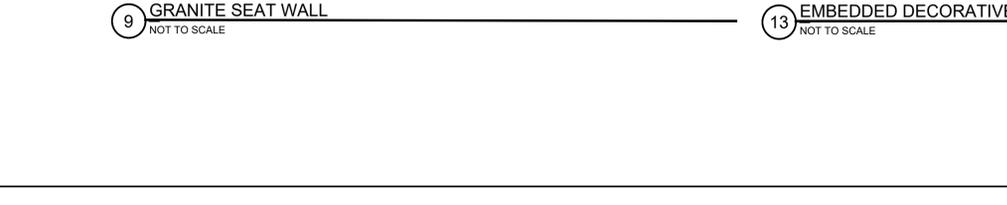
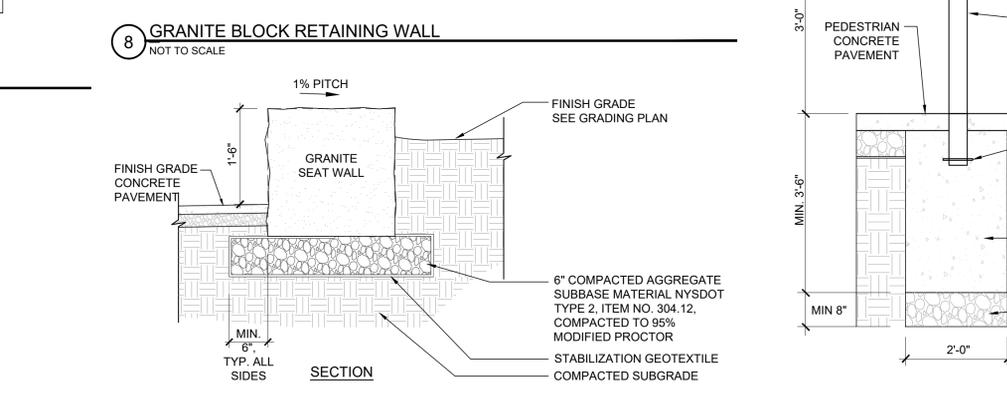
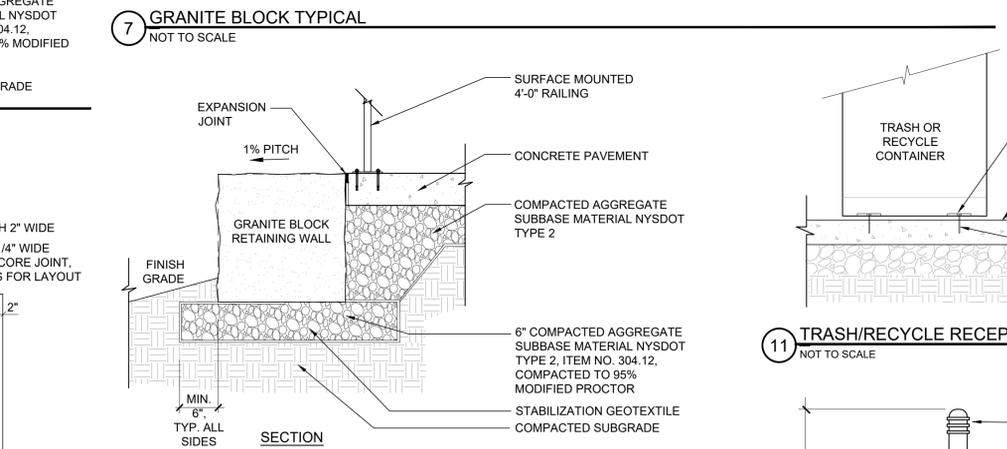
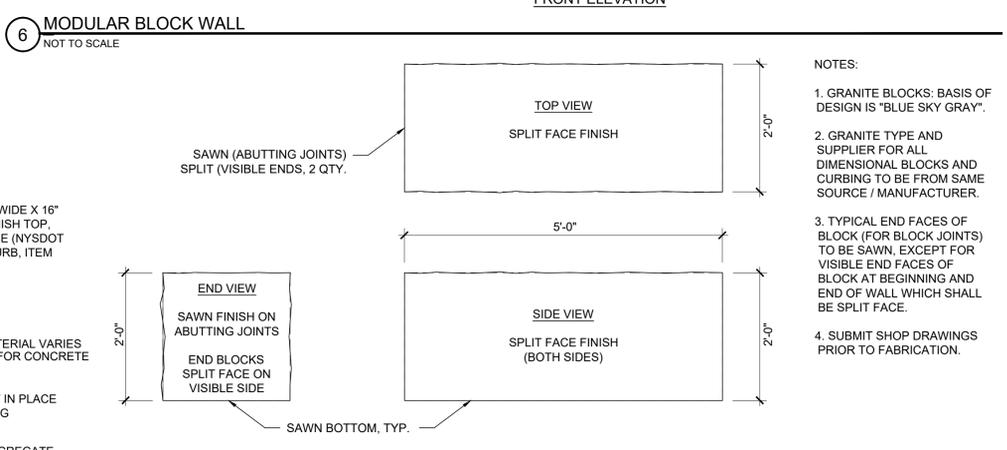
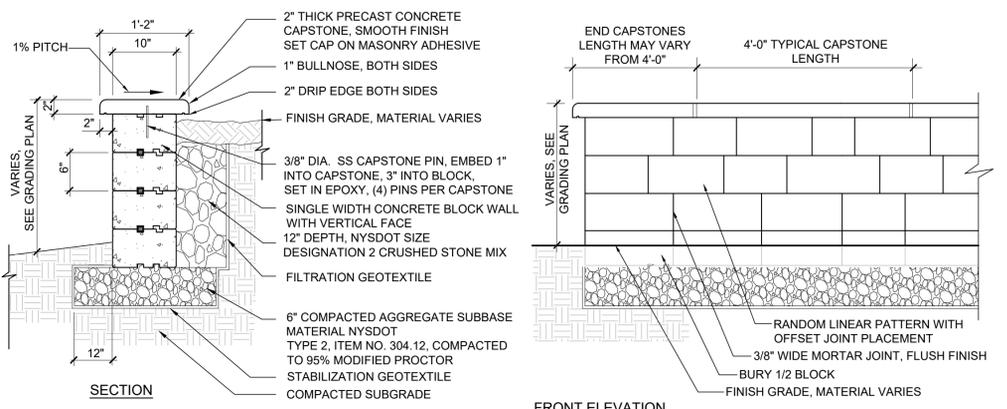
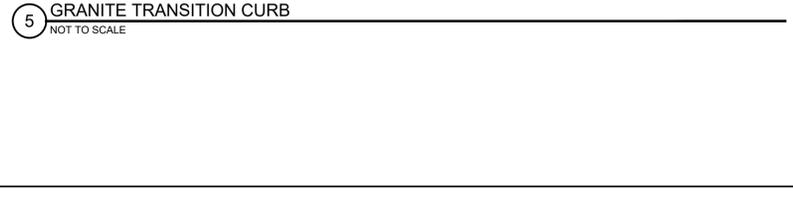
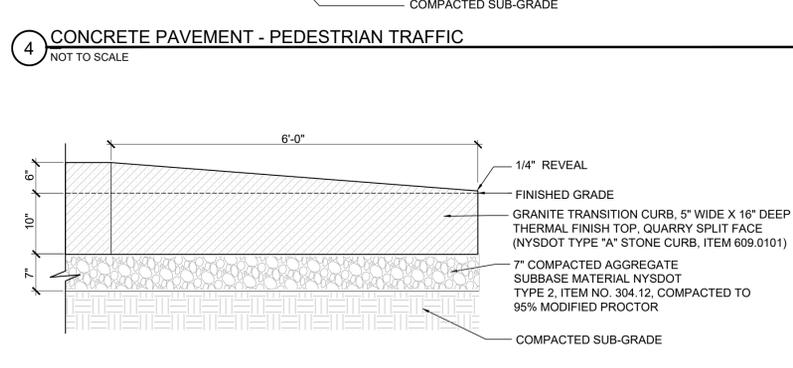
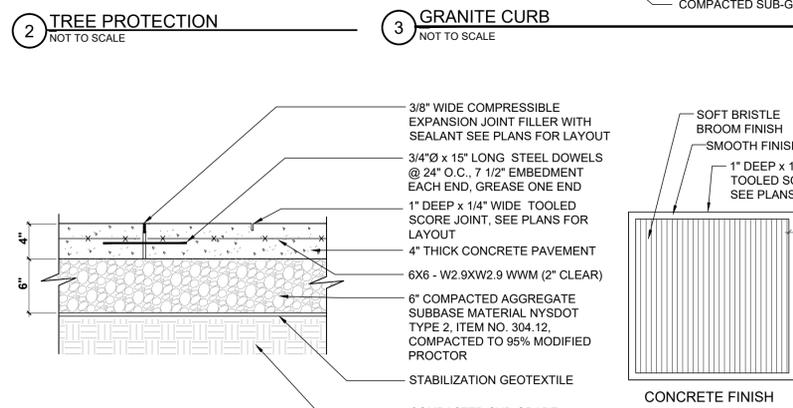
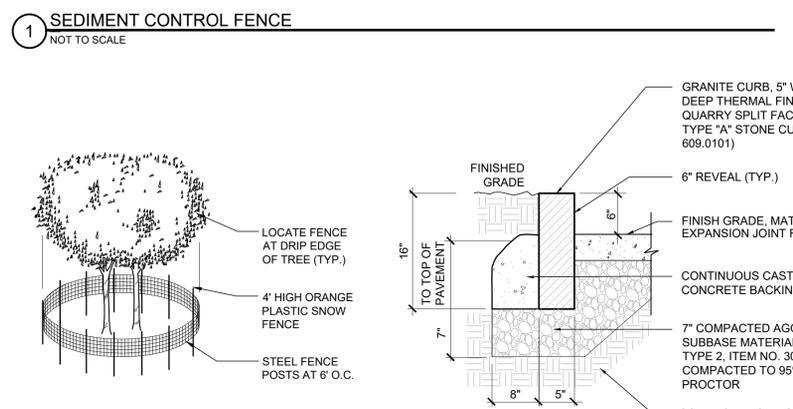
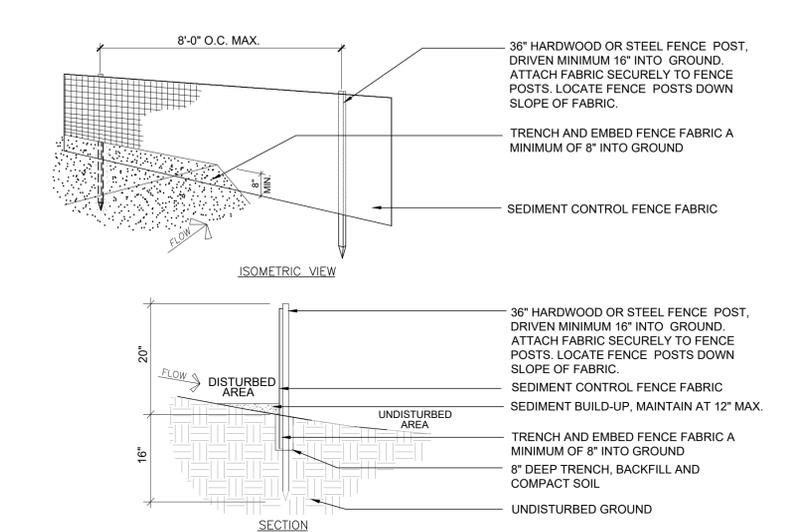
SARATOGA ASSOCIATES PROJECT #: 18039.10

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DATE: 11-18-2022
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CHECKED BY: ELG/RJM/DMS
PHASE: 100% CD
SCALE:

SITE DETAILS **L700**

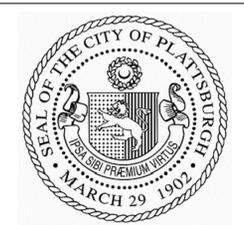


- NOTES:
- GRANITE BLOCKS: BASIS OF DESIGN IS "BLUE SKY GRAY".
 - GRANITE TYPE AND SUPPLIER FOR ALL DIMENSIONAL BLOCKS AND CURBING TO BE FROM SAME SOURCE / MANUFACTURER.
 - TYPICAL END FACES OF BLOCK (FOR BLOCK JOINTS) TO BE SAWN, EXCEPT FOR VISIBLE END FACES OF BLOCK AT BEGINNING AND END OF WALL WHICH SHALL BE SPLIT FACE.
 - SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.

AARON J. OVIDS, P.E.
PRESIDENT

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City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

Riverwalk: Bridge to Broad Streets

REVISIONS

NO	DATE	DESCRIPTION	DRAWN	CHK

SARATOGA ASSOCIATES PROJECT #: 18039.10

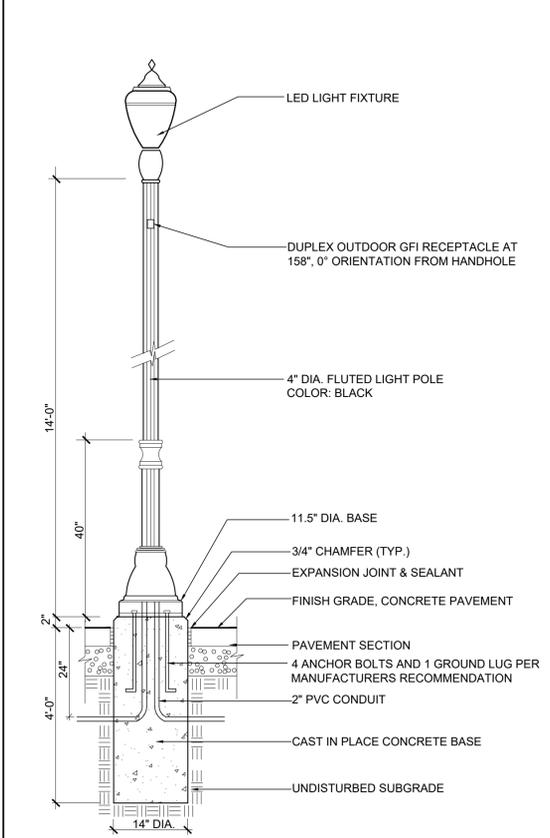
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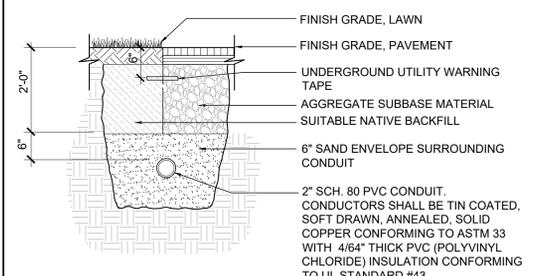


SITE DETAILS

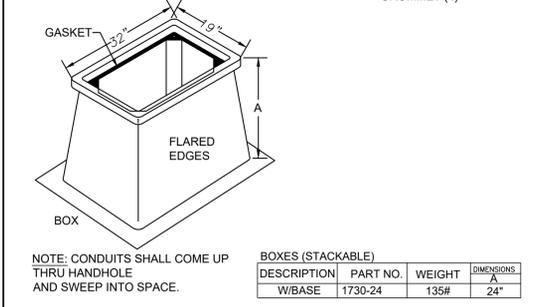
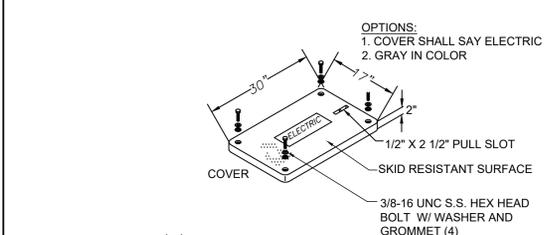
L701



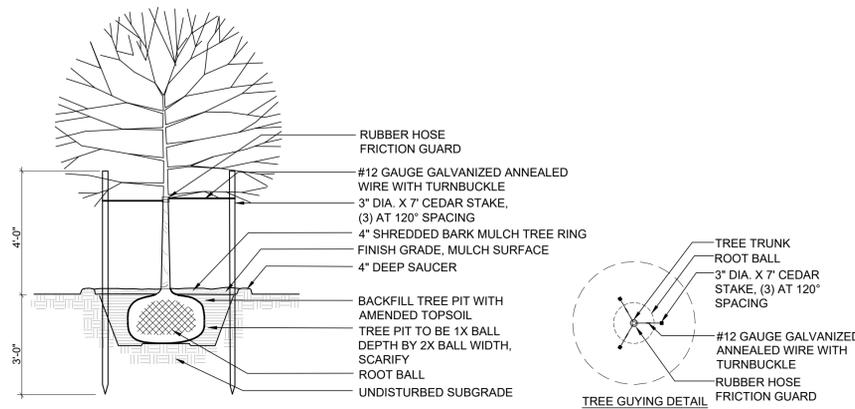
1 SITE LIGHTING
NOT TO SCALE



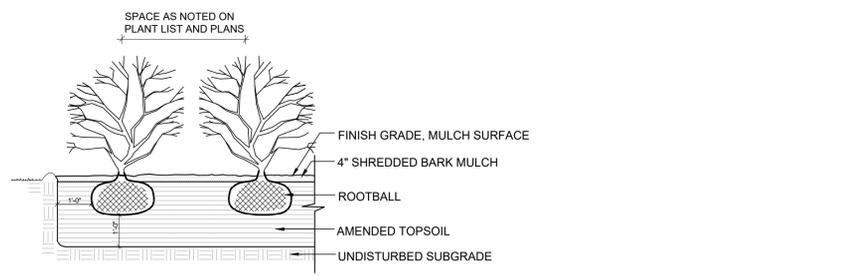
2 ELECTRICAL TRENCH
NOT TO SCALE



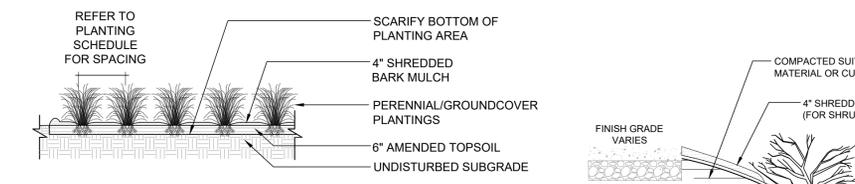
3 HAND HOLE
NOT TO SCALE



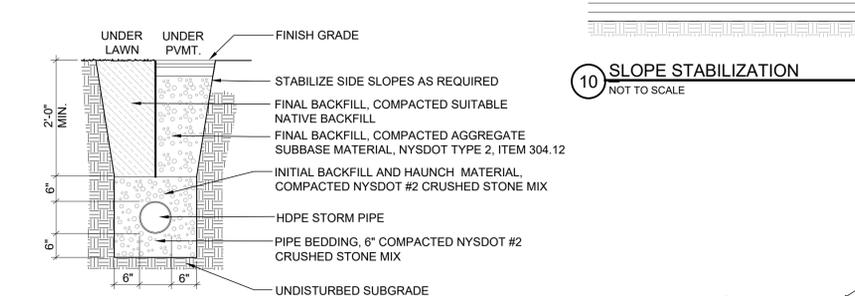
4 TYPICAL DECIDUOUS TREE PLANTING
NOT TO SCALE



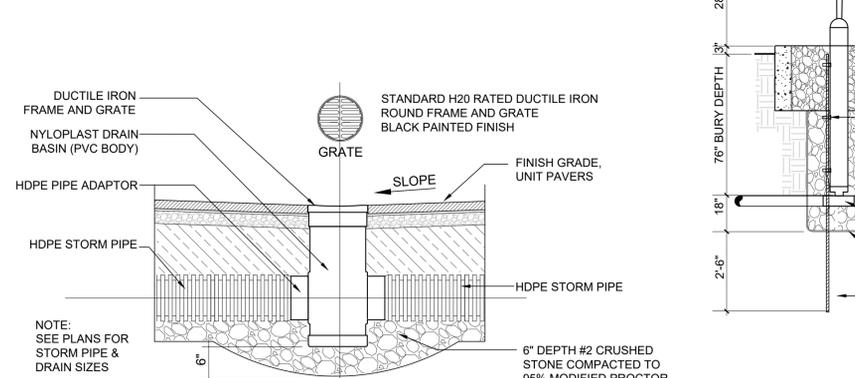
5 TYPICAL SHRUB PLANTING
NOT TO SCALE



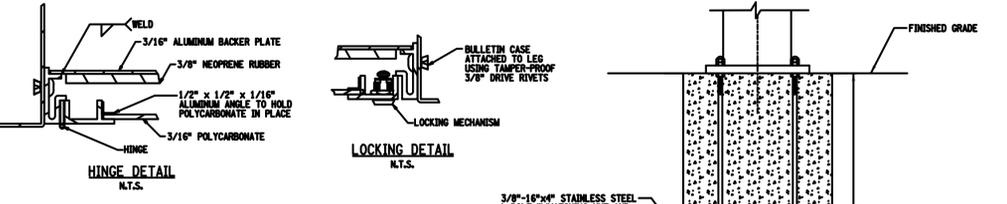
6 TYPICAL PERENNIAL/GROUNDCOVER PLANTING
NOT TO SCALE



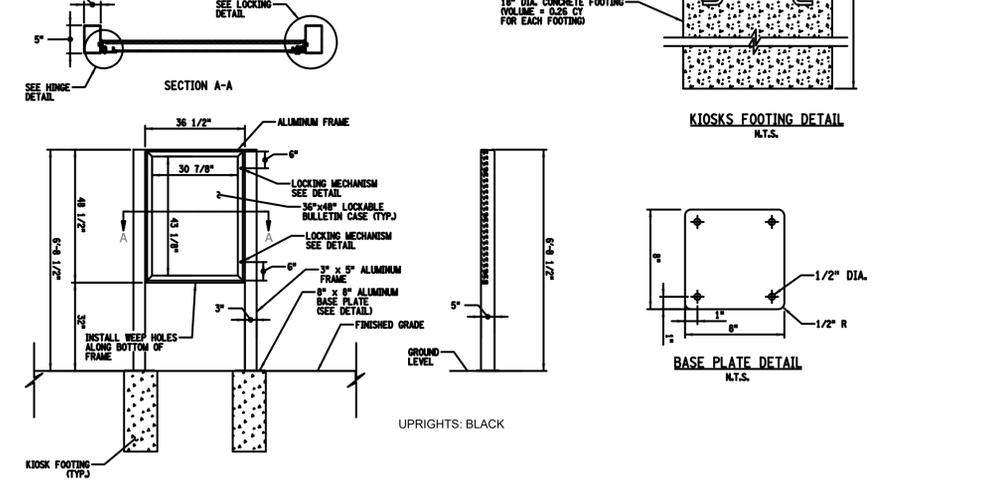
7 STORM SEWER PIPE TRENCH
NOT TO SCALE



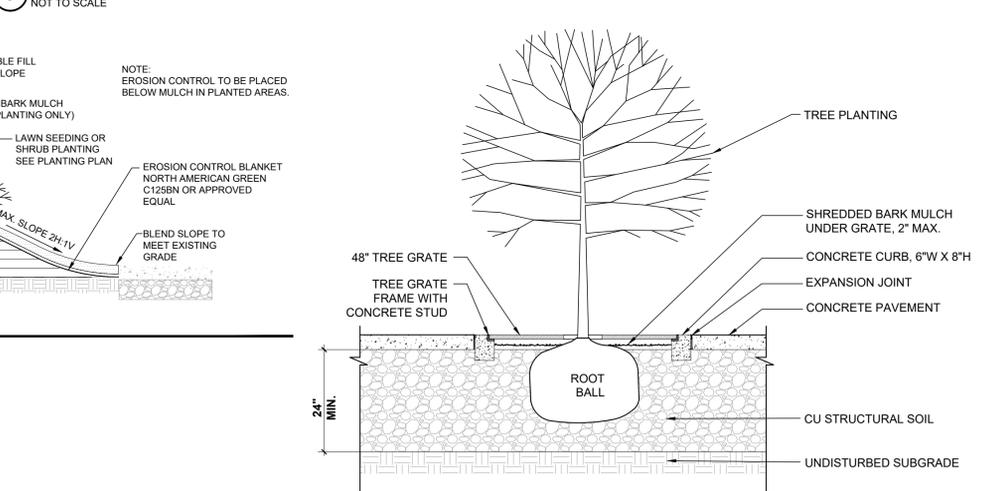
8 AREA DRAIN
NOT TO SCALE



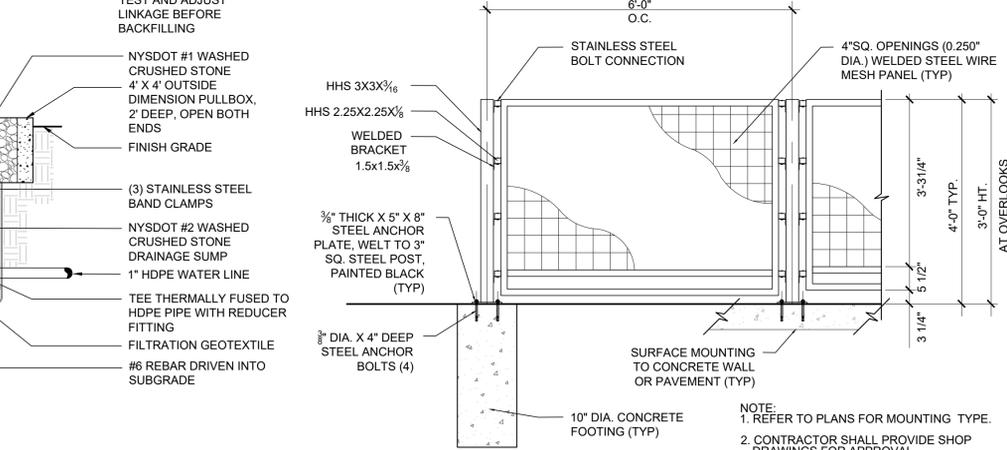
9 WAYFINDING SIGN
NOT TO SCALE



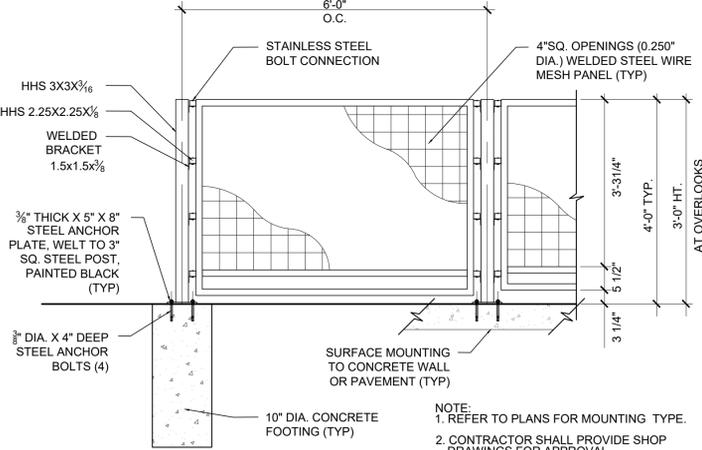
10 SLOPE STABILIZATION
NOT TO SCALE



11 TREE PIT
NOT TO SCALE



12 FROST FREE YARD HYDRANT
NOT TO SCALE



13 STEEL RAILING
NOT TO SCALE

AARON J. OVIDS, P.E.
PRESIDENT

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City of Plattsburgh, NY

Downtown Revitalization Initiative: Streetscape and Riverfront Access

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Downtown Revitalization Initiative

PLATTSBURGH RIVERWALK

The City of Plattsburgh was selected as a New York State Downtown Revitalization Initiative (DRI) community in 2016, under Governor Cuomo, when a number of priority projects were awarded funding. Funding for this project was provided by the NYS Department of State.

The design for The Riverwalk was developed by Saratoga Associates Landscape Architects, Architects, Engineers, and Planners, P.C., with guidance from a local community and local representatives. Construction was performed by **G.C. NAME HERE** in conjunction with **SUBCONTRACTOR NAMES**.

Kathy Hochul
Governor



Department of State

Homes and Community Renewal

Empire State Development

INSTALLATION:

1. THE SIGN SHALL BE INSTALLED WITHIN ONE WEEK OF COMMENCEMENT OF WORK.
2. THE SIGN SHALL BE ERECTED IN A PROMINENT LOCATION AND SECURED FROM VANDALISM.
3. SIGN MUST BE MAINTAINED FOR AT LEAST 60 DAYS AFTER CONSTRUCTION COMPLETION AND REMAIN PLUMB, LEVEL, AND IN GOOD CONDITION.

MATERIAL AND SIZE:

1. MEDIUM DENSITY OVERLAY EXTERIOR GRADE PLYWOOD WITH GRADE B SURFACE VENEERS (MDO B-B EXT-APA).
2. EXTERIOR GRADE PRINTED SIGNS, SUCH AS CLOSED CELL PVC FOAMBOARD, MOUNTED ON APA EXTERIOR GRADE SHEETS ARE ACCEPTABLE.
3. SIGNS SHALL BE HORIZONTAL FORMAT 4 FEET BY 8 FEET IN SIZE.

CONTENT:

1. ADOBE ILLUSTRATOR AND PDF FILES TO BE PROVIDED TO CONTRACTOR FOR PRINTING.
2. THE SIGN SHALL BE FABRICATED BY A PROFESSIONAL SIGN MANUFACTURER.
3. LETTERING AND STRIPING SHALL BE UNIFORM WITH SHARP, NEAT PROFILES.
4. THE SIZE OF TEXT AND LOGOS MUST BE PROPORTIONAL TO THAT SHOWN ON THE SIGN TEMPLATE.

3|LUE

- 2|ANTONE 3005 C
- 2|MYK 100/31/0/0
- 3|GB 0/119/200
- 4|EX #0077C8

LOGO:

- BLUE FADE ON STATE
- CMYK 100/90/6/1 TO 71/15/0/0
- RGB 35/62/144 TO 30/169/225
- HEX #233E90 TO #1EA9E1

LOGO:

- GOLD
- PANTONE 13C
- CMYK 0/32/11
- RGB 242/169,
- HEX #F2A900

1 DRI SIGNAGE
NOT TO SCALE

DRI SIGNAGE

L702